

Design Guidelines

Cumberland County

**Cumberland Courthouse Historic District
& Entrance Corridor Design Guidelines**

JANUARY 2009



Cumberland County

Courthouse Historic District & Entrance Corridor Design Guidelines

ACKNOWLEDGEMENTS

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Cumberland County

Courthouse Historic District & Entrance Corridor Design Guidelines

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I. Introduction



A. What are the Cumberland Courthouse Historic District and Entrance Corridor Design Guidelines & How Will They be Used?

The *Cumberland Courthouse Historic District and Entrance Corridor Design Guidelines* can be used to assist property owners, architects, builders, and county officials in preserving traditional architecture and patterns of development in the Courthouse Historic District and U.S. Route 60 Entrance Corridor. Currently, the design guidelines are voluntary recommendations.

Design guidelines foster **compatible design** and **appropriate changes** that achieve the following objectives:

- Facilitate repairs and improvements that bolster the character of contributing and historic buildings;
- Introduce new elements that are sympathetic to the historic character of the Courthouse area;
- Enhance the vitality and sense of place in Cumberland County Courthouse Historic District and Entrance Corridor.

The design guidelines protect and reinforce the distinctive character that makes Cumberland County Courthouse Historic District and Entrance Corridor a vibrant place to live, work and play. Following the guidelines, the appendix to this document can be found and contains supplementary tools such as: a list of *Preservation Briefs* that can provide specific information/methods for preservation, and a comprehensive glossary of preservation terms.

Design guidelines cannot mandate rehabilitation and they cannot prohibit new construction. Design guidelines provide guidance to property owners who are contemplating changes to their building or lot. Although the guidelines contain detailed recommendations, they do not dictate particular design solutions. The guidelines recognize that each rehabilitation or new construction project is unique. Accordingly, the guidelines provide a certain amount of flexibility to allow for creativity on the part of owners and county officials.

The design guidelines are based on the *Secretary of the Interior's Standards for Rehabilitation* (see Appendix A), but are tailored to the Cumberland Courthouse Historic District and Entrance

Corridor. The design guidelines are based on an examination of the contributing resources (historically significant buildings, landmarks, and landscapes) in the Courthouse District as well as character-defining features of the Entrance Corridor. Cumberland County citizens provided essential input and guidance in the development of these guidelines through a series of community meetings.

The Courthouse Historic District and Entrance Corridor exhibit distinctive characteristics resulting from their historical and physical development. Consequently, the design guidelines address the Courthouse Historic District and Entrance Corridor separately with recommendations tailored to each area.

The document is organized into the following chapters:

- Chapter II summarizes the development of Cumberland County, the Courthouse Historic District, and Entrance Corridor and describes the character-defining features of each area.
- Chapter III details recommendations for site design including signage, parking, landscaping, setbacks, fences and lighting.
- Chapter IV details recommendations for the retention and repair of existing elements including materials, windows, roofs, details, and storefronts.
- Chapter V explains the recommendations for alterations, new construction, additions and demolitions in the Courthouse Historic District and Entrance Corridor.
- The appendix contains additional resources for property owners including an inventory of contributing and noncontributing property within the Courthouse Historic District.

Property owners considering changes to their buildings or lots should consult the appropriate chapter(s) for guidance in planning work that will retain and enhance the area's historic character.



B. Design Guidelines Can and Cannot...

Design Guidelines Can:

- *Protect* the areas of a county that have character-defining features
- *Preserve* historic fabric
- *Ensure* the compatibility of alterations, additions, and new construction
- *Improve* property values
- *Promote* community and economic development
- *Increase* public awareness of the history of Cumberland County

Design Guidelines Cannot:

- Force property owners to make alterations or additions to their buildings
- Prohibit alterations or additions from being made to a building
- Forbid new construction
- Change the permitted use of a building
- Raise taxes
- Restrict the sale of a property
- Regulate interior design



Burleigh Hall, built in the 1820s, demolished 2008 - (Left) Before Demolition, (Right) After Demolition



C. Community Contributions to the Design Guidelines

In 2008, Cumberland County residents participated in a series of community workshops to provide input and direction concerning the development of design guidelines for the Courthouse Historic District and Entrance Corridor.

Through these meetings, participants learned about design guidelines and the architectural features of the Courthouse Historic District and Entrance Corridor. Participants used their intimate knowledge of these places to identify areas that should be preserved as well as areas that should be encouraged to change. Group discussions centered on the future of Courthouse Historic District and Entrance Corridor and how residents would like these areas to develop over the next 10, 20 and 30 year periods. Participants were provided worksheets with graphic representation of design elements to be addressed in the Design Guidelines where they then identified their likes and dislikes. For example, a worksheet labeled “signage” showcased two different types of signage found in the Courthouse Historic District. Participants were asked to place a green sticker on the type of signage they found to be more in the keeping with the intent of the design guidelines and a red sticker on the types that were not. The participants were also encouraged to make comments in the margins with suggestions or reasons for their choice.

Below are some examples of the input gathered through the community meetings:

- *Let's keep what we have and improve on that!*
- *My vision for Cumberland County is a place where visitors say "Wow!"*
- *We should use positive examples from the community to develop the guidelines.*
- *The Courthouse, old Effingham Tavern location, Center Church, old Jail, Fire Tower, Fitzgerald Road and the Presbyterian Church are treasured places that deserve protection.*

All of the input received at the community meetings was essential in developing guidelines that meet the community's needs and represent the values held by residents of Cumberland County.



SIGNAGE



is not appropriate for the historic district area

Too obtrusive





D. A Note on Design Review Processes

Design Review in Cumberland County

Currently, compliance with the Cumberland Courthouse Historic District and Entrance Corridor Design Guidelines is voluntary. Property owners are not required to undergo a formal design review process prior to conducting an exterior alteration within the Courthouse Historic District or Entrance Corridor. Nonetheless, these design guidelines provide valuable guidance to property owners who wish to protect the historic character of their building and community.

Future Application

In the future, the Cumberland County Board of Supervisors could adopt an amendment to the Zoning Code to establish a Historic Overlay District encompassing the Courthouse Historic District and/or Entrance Corridor. The creation of a Historic Overlay District would provide for an Architectural Review Board (ARB). An ARB is a committee made up of residents with demonstrated knowledge of the history and architecture of their community. In localities with Historic District Overlays, the ARB reviews proposed alterations to buildings to ensure that the work is compatible with the historic character of the district. Typically, a certificate of appropriateness from the ARB is required before constructing, moving, relocating, demolishing, or in any manner changing or altering the exterior features of a building within a Historic District Overlay. In Cumberland County, an ARB would apply these design guidelines, along with the *Secretary of the Interior's Standards for Rehabilitation* (see Appendix A), to determine the appropriateness of proposed work.

Purpose

It is worth repeating that in Cumberland County, there is no Historic District Overlay—compliance with the Cumberland Courthouse Historic District and Entrance Corridor Design Guidelines is not mandated by law. Even so, property owners may consult these design guidelines prior to undertaking a major renovation project, including, but not limited to:

- Removing and replacing siding, trim and roofs;

- Adding, removing or replacing windows and doors;
- Adding or removing shutters;
- Constructing a front, rear or side porch;
- Painting masonry or wood surfaces;
- Installing new signs;
- Adding an addition to an existing buildings;
- Constructing a new building or accessory building;
- Demolishing or relocating an existing building.

By following the suggested design guidelines, property owners can ensure that alterations to historic buildings preserve traditional architectural features within the Courthouse Historic District and Entrance Corridor. The high-quality design promoted by these guidelines will not only benefit the building, but will enhance the character of Cumberland County as a whole.

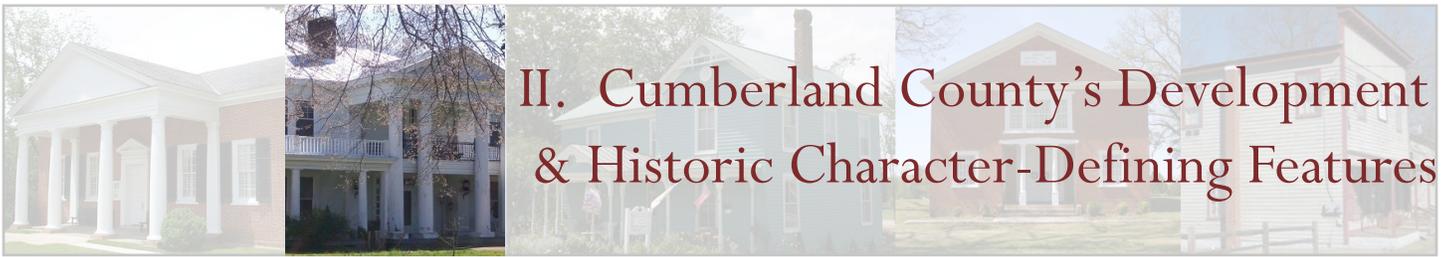
Questions?

Is my property located in the Courthouse Historic District or Entrance Corridor?
What steps can I take to preserve my historic building?

Please contact the Cumberland County Planning and Zoning Department with questions concerning the Cumberland Courthouse Historic District and Entrance Corridor:

**Planning and Zoning Administrator
Cumberland County
Department of Planning
P.O. Box 110
1 Courthouse Circle
Cumberland, VA 23040
Phone: (804) 492-3520
Fax: (804) 492-3697
www.cumberlandcounty.virginia.gov**

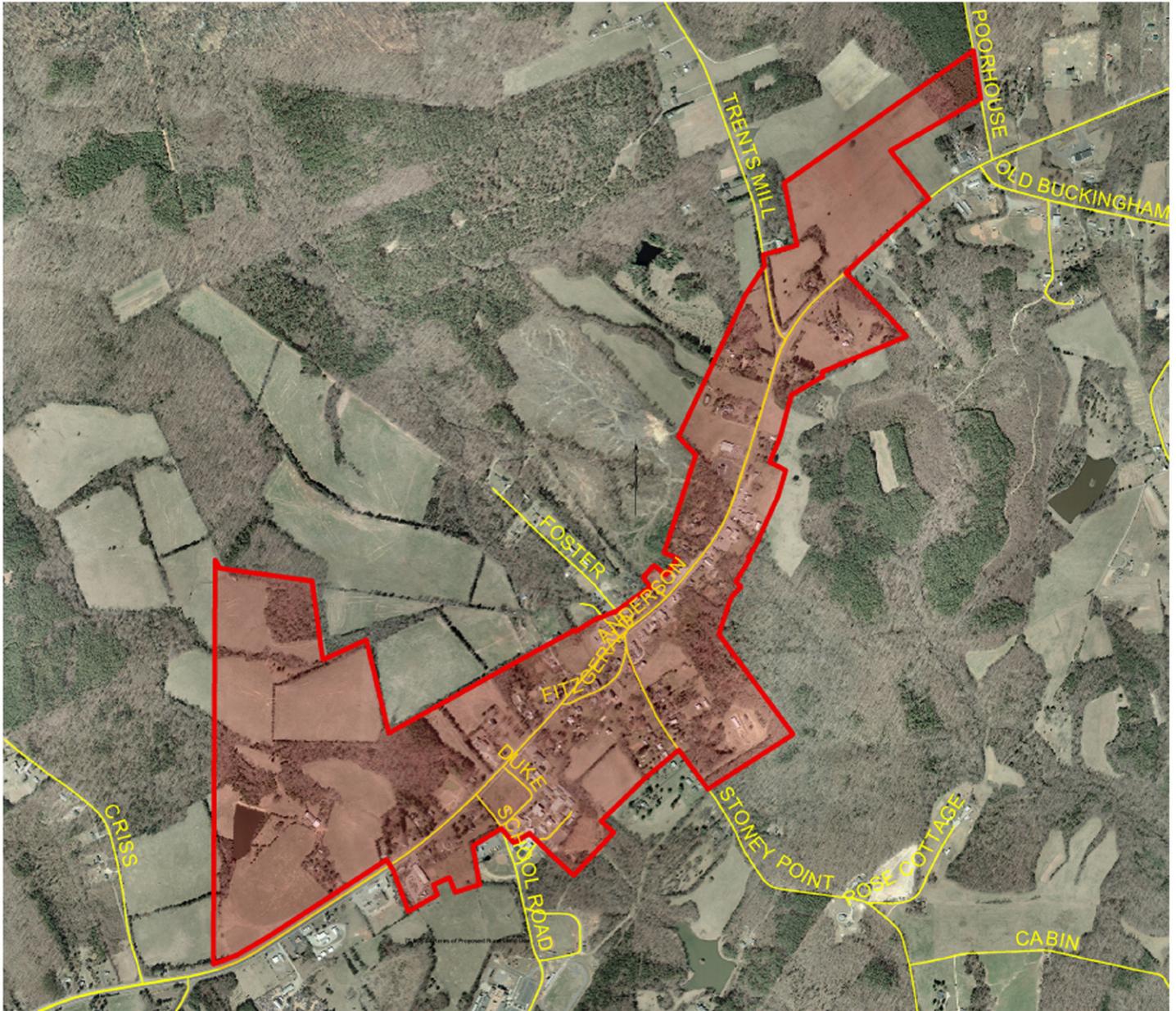
Cumberland County



II. Cumberland County's Development & Historic Character-Defining Features



A. Map of Courthouse Historic District - 2008



map is not drawn to scale

Legend

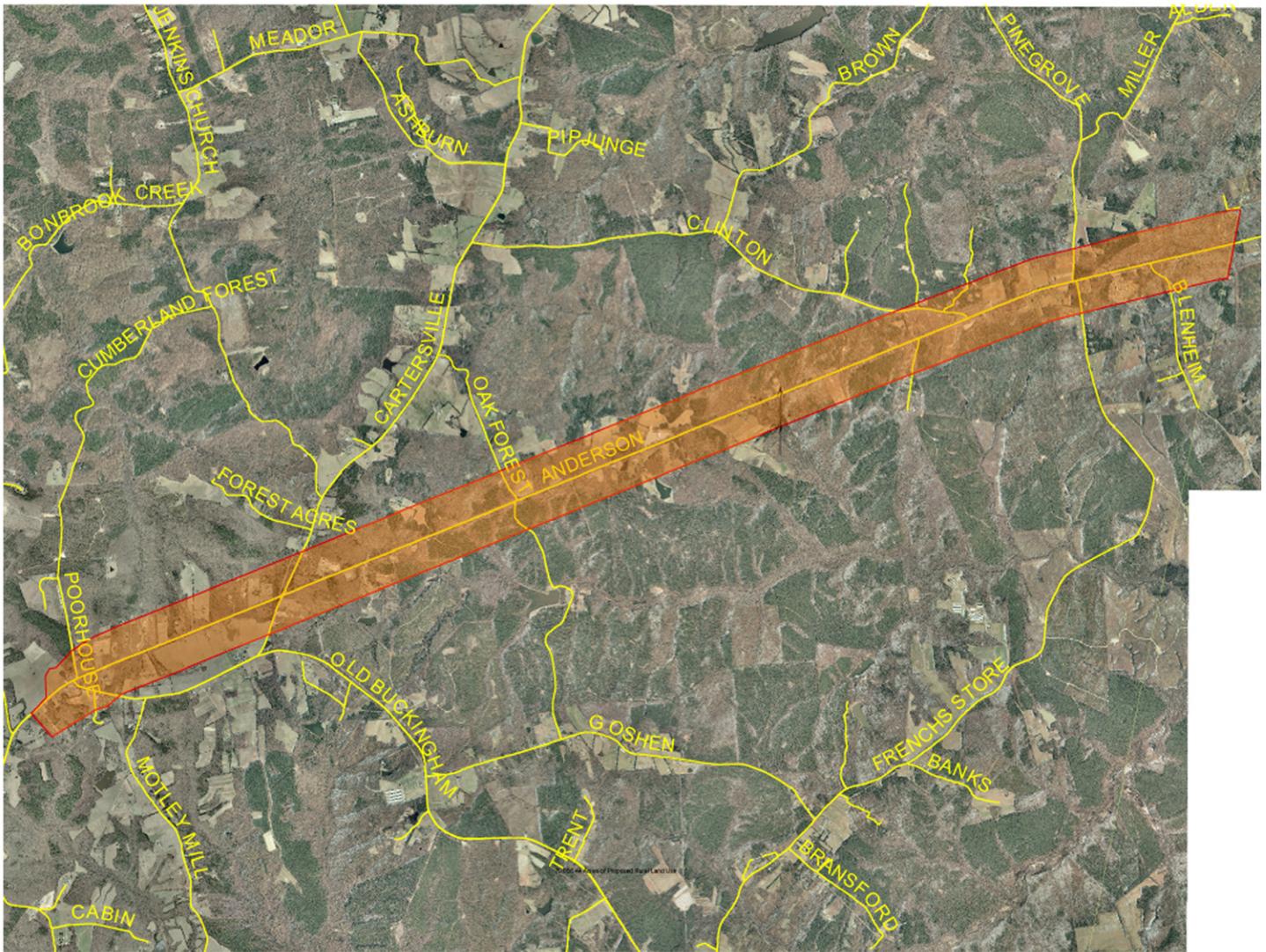
 Courthouse Historic District



Note: Please see sectional parcel maps in Appendix for detailed property listings.



B. Map of Entrance Corridor - 2008



map is not drawn to scale

Legend

 Entrance Corridor



Note: Please see sectional parcel maps in Appendix for detailed property listings.



C. Historical Development of Cumberland County

Cumberland County was established in 1749 from lands formerly within Goochland County. Located in central Virginia, Cumberland County is bound by the James River to the north, the Appomattox River to the south, and the counties of Powhatan to the east and Buckingham to the west. The topography of the region consists of gently rolling hills and the area is well suited to agriculture.

The first farmstead in Cumberland County dates to 1723; permanent settlements soon followed. The 1790 census reported that Cumberland County was home to over 8,153 residents. An early transportation network of waterways and roads connected settlements and allowed for the trade of natural resources and agricultural products encouraging further population growth.

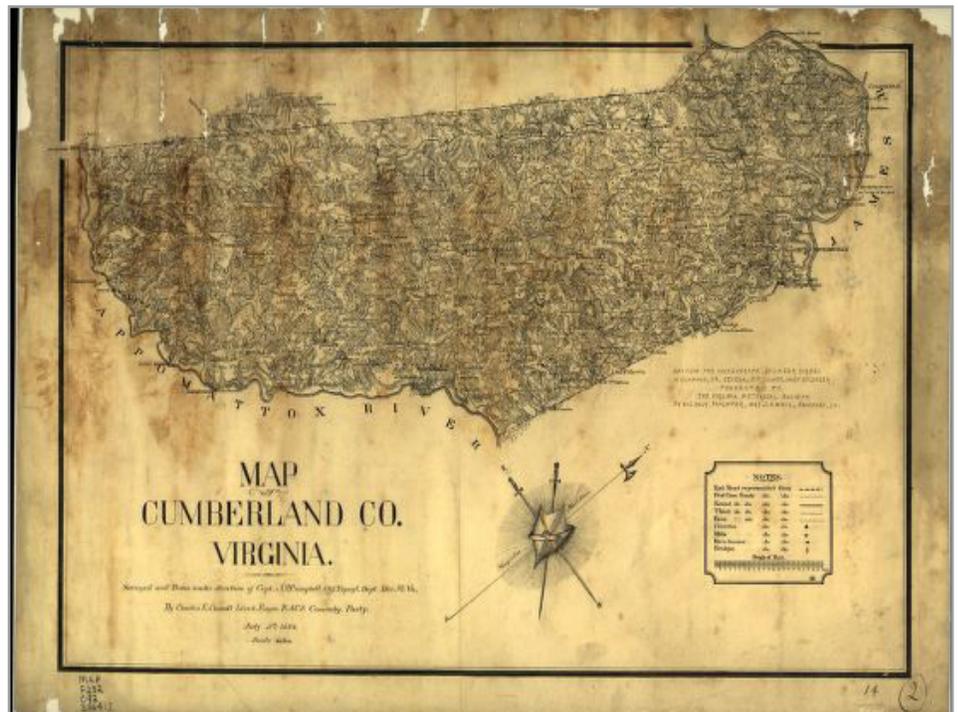
In 1830 the county experienced its greatest population increase. With the increased employment opportunities created by the introduction of industry, mining and milling, as well as the railroad, the population grew to 11,690.

With the introduction of the automobile and growing affordability many residents left Cumberland to try new lives in neighboring cities causing the population to fall. By 1950 the coun-

ties population was 7,252. Fortunately in 1980 people began returning to the county and have increased our population to 9,752 in 2006.

Agriculture remains the principal industry in the region with over 60 percent of the county's income is derived from farming. The agricultural heritage of the area is reflected in the pattern

of development. Cumberland County is sparsely developed with small towns interspersed across the landscape. Although the county anticipates significant population growth over the next two decades, it aims to retain its character-defining rural features.



Map of Cumberland County, Virginia
Surveyed and drawn by Charles E. Sassell - 1864
Source: Virginia Department of Historic Resources



D. Historical Development of the Courthouse Historic District

The Courthouse Historic District is the governmental core of the county. The district is comprised of residential, commercial, educational, and religious resources that have developed around the courtyard over the course of over 230 years. Established as the county seat in 1777, the village is the approximate geographic center of the county and de-

veloped as such throughout the county's history. Based on its significance as the center for development in the county, The Cumberland Courthouse Historic District was listed in the National Register of Historic Places in 2007 and encompassing approximately 372 acres and 70 contributing buildings. The local historic designation recognizes the

district's unique architectural resources that impart a visual sense of the county's history.

The Cumberland Courthouse has been an important axis of activity since the county's inception in 1749. At that time the Courthouse was situated along Buckingham road, the predecessor to U.S. Rt. 60. In its early years, Effingham Tavern served as the social center for the community and as a way point providing food, provisions and lodging for travelers. Regrettably, in 1932 a fire destroyed Effingham Tavern as well as Cumberland Drugstore and 4 other buildings.



Effingham Tavern

Source: Virginia Department of Historic Resources



Cumberland County



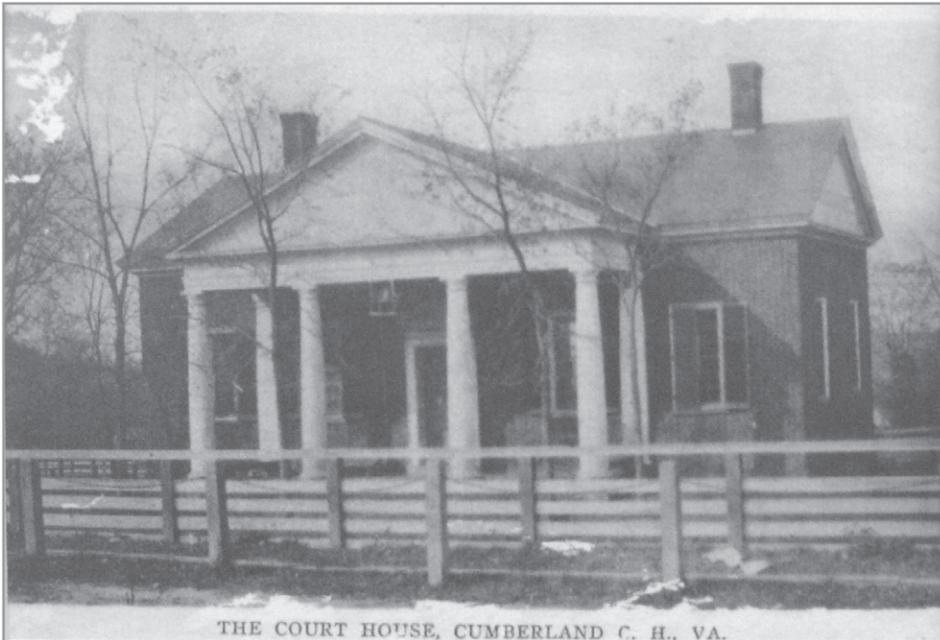
In 1782, the Marquis de Chastellux, a major with the French Expeditionary Force participating in the American Revolution, traveled through Cumberland Courthouse. He arrived on Court Day and found Effingham Tavern to be

“full of people.” The Marquis de Chastellux described the town as “seven or eight houses inhabited by gentlemen of prosperity.”

The original courthouse burned down

in 1783. Another wood-frame building served as the courthouse until the present building was constructed in 1821. The Classical Revival-style brick courthouse and its associated square are the central landmarks in the village. The courthouse’s striking design represents the solemn nature of the activities that occurred there. Over time, governmental offices were constructed around the building.

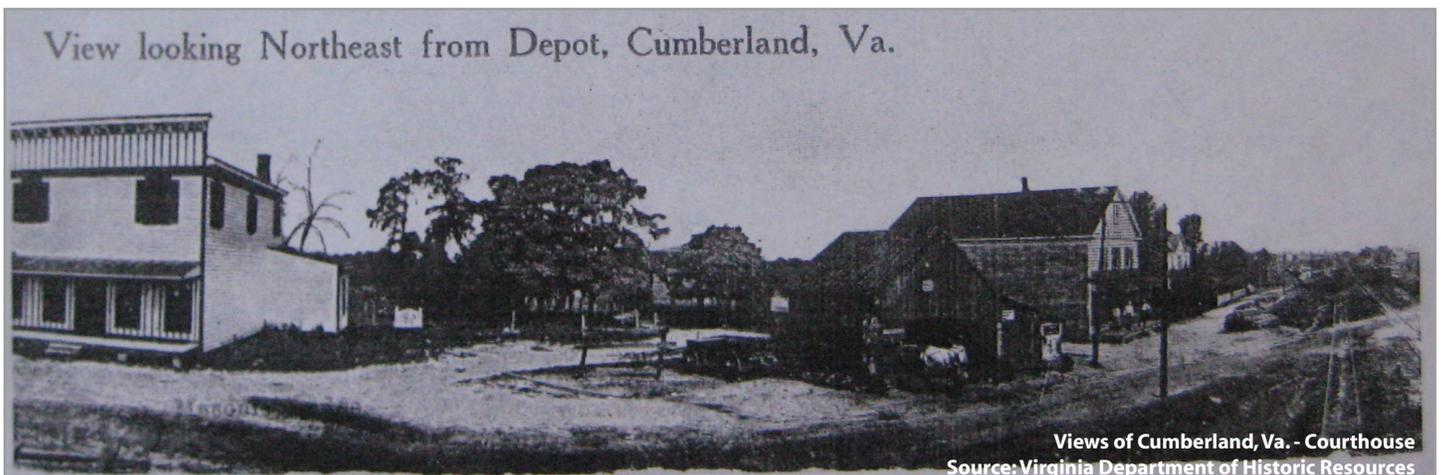
Throughout the nineteenth century, the village remained a small settlement that came alive whenever court was in session. An 1835 gazetteer described Cumberland Courthouse as comprised of five dwellings, one mercantile store, one church, two taverns, a saddler, a boot and shoe factory, a tailor and other tradesmen. The village population included 30 white and 60 black citizens.



THE COURT HOUSE, CUMBERLAND C. H., VA.

Cumberland Courthouse

Source: Virginia Department of Historic Resources



View looking Northeast from Depot, Cumberland, Va.

Views of Cumberland, Va. - Courthouse
Source: Virginia Department of Historic Resources



The arrival of the Farmville and Powhatan Railroad (F&PRR) in 1889 spurred commercial development in Cumberland Courthouse. Several churches, inns, grocery stores, and warehouses were established in the village in the late nineteenth century.

The oldest extant church in the Courthouse district, which predates the railroads inception, is the Central Presbyterian Church, built in 1852.

In 1872, the County established a school system and commission the building of the first of many school houses, the first of which was a one-story, wood-frame school named the, "Central School." Due to the population growth brought on by the railroad a two-story school house replaced the Central School in 1908. Since that time the Cumberland

School System has undergone several transformations over the years, the latest of which was just completed in 2008.

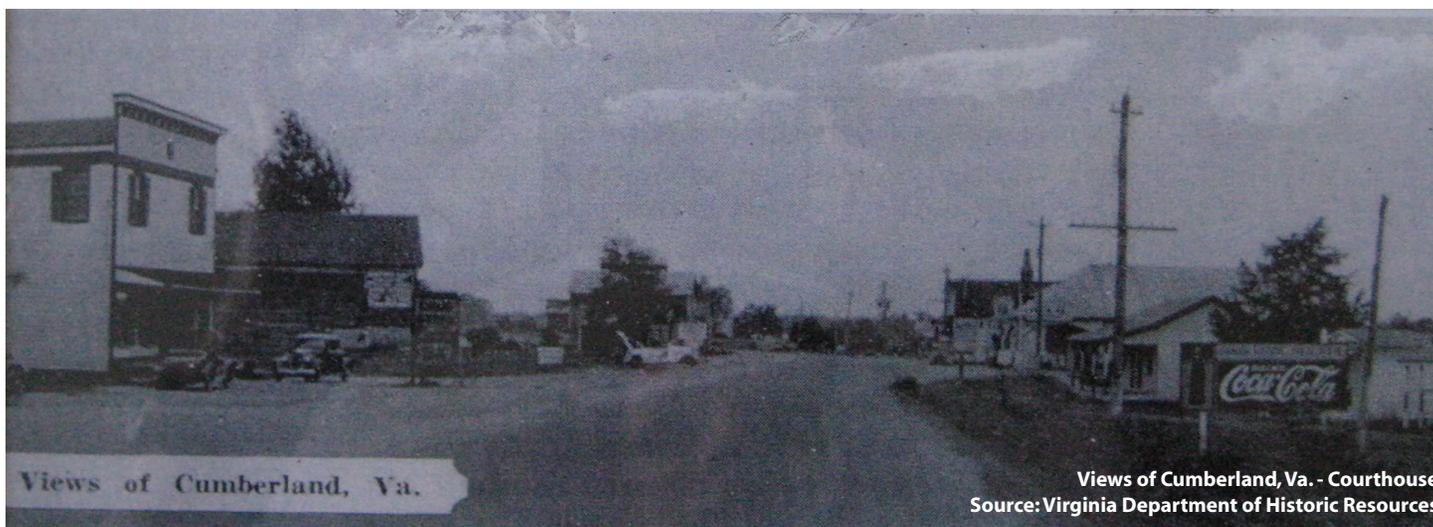
In 1901, the F. P. Flippen & Bros. partnership began a mercantile enterprise that operated for the next century out of a warehouse on Stoney Point Road.

The Masonic Lodge #283 was built in 1903 and is still in operation today. Garrett Brothers Roller Mill was established in 1911 near the F&PRR tracks (demolished in 2006). Regrettably, a fire in 1932 destroyed six buildings in the small commercial district along U.S. Route 60, including Effingham Tavern and the Cumberland Drugstore.

Steady growth continued in the Courthouse District through the early and mid-twentieth century. The rise of the

automobile stimulated further residential and commercial development along U.S. Route 60. A dramatic change to the layout of the town occurred during the 1950s when U.S. Route 60 was rerouted to its present, straightened location. As a result, dwellings that had formerly faced onto the main street found that they now faced Fitzgerald Road.

Today, Courthouse District is a community of approximately 300 people. The historic buildings within which exemplify its development from a small hamlet that came alive only on court days to the vibrant community it is today. As it had in the eighteenth century, the Courthouse Historic District continues to occupy a central place in the history of Cumberland County and the daily lives of its inhabitants.



Views of Cumberland, Va.

Views of Cumberland, Va. - Courthouse
Source: Virginia Department of Historic Resources



E. Historical Development of the Entrance Corridor

The Route 60 Entrance Corridor is comprised of 33 historically significant sites and buildings located along either side of the highway. The Entrance Corridor stretches approximately six miles from the intersection of Anderson Highway and Northfield Road (near the eastern boundary of Cumberland Courthouse) northeast to the Cumberland/Powhatan County border.

Portions of U.S. Rt. 60 were created through the construction of the narrow-gauge Farmville & Powhatan Railroad (F&PRR) which ran from Bermuda Hundred to Farmville. The federal government removed the F&PRR during World War I in order to reclaim the iron for the war effort. This along with the advent of the automobile, transformed portions of the F&PRR tracks into the two-lane rural U.S. Rt. 60 of today.

The gently rolling terrain along U.S. Route 60 consists primarily of forest and open fields. Residential buildings situated along the highway tend to recede into this landscape and are often obscured by large shade trees, many of which are used as small farms. The Entrance Corridor exemplifies the rural character of Cumberland County, and provides a snapshot of the history of transportation in the county and the development that has occurred because of it.

Residential development along U.S. Route 60 reflects the pattern of growth Cumberland County began to experi-



Images of Cumberland County in the mid-twentieth century
Source: Virginia Department of Historic Resources

ence in the nineteenth and twentieth centuries. A few of the residences in the Entrance Corridor are associated with the county's early agricultural heritage; however, the majority of houses were constructed in the early to mid-twentieth century. Commercial functions were intermittently located along U.S. Route 60 in the early to mid-twentieth century to take advantage of the automobile traffic along the highway.

Although the Entrance Corridor retains its historic rural character, development pressure from nearby Richmond has the potential to alter this sense of place.



F. Defining Characteristics: Courthouse Historic District

1. Residential Buildings

Residences in the Courthouse Historic District reflect the village's growth from its inception as the county seat in 1777 through the mid-twentieth century. Early farmstead dwellings at the edge of the District (dating back to the early nineteenth century) are vernacular, exhibiting elements of the Federal style. In the first part of the 20th century there was an increase in residential construction, introducing the Queen Anne and Colonial Revival styles that were popular at the time. The most prevailing domestic form in the Courthouse Historic District is the wood-frame I-house. Variations on the I-house form exist through out the district, such as Bungalow and Cape Code houses, constructed in the early to mid-twentieth century.

Defining Characteristics

- **Site:** Small to medium-sized lots, shallow to moderate setbacks; uniform spacing; driveways; front lawns; hedges; mature shade trees; accessory buildings.
- **Style:** Federal, Colonial Revival; Queen Anne; Craftsman; nineteenth- and twentieth-century vernacular.
- **Features:** Gabled and hipped roofs; interior brick chimneys; front-gabled and hipped dormers; multi-light double-hung windows; operable louvered shutters; paneled doors; symmetrically balanced façade, full-width front porches.
- **Scale:** One to two stories in height.
- **Material:** Stone and poured concrete foundations; weatherboard-clad, stone and brick walls; asphalt shingle, slate, and standing-seam metal roofs.



Examples of Residential Buildings in the Courthouse District



2. Commercial Buildings

Mercantile functions were a part of the Courthouse Historic District as early as the 1830s. Although several prominent commercial buildings were lost during a fire in 1932 and the widening of U.S. Route 60 in the late 1950s, several contributing commercial buildings can still be found. Traditional storefronts on historic commercial buildings are comprised of a canted central entry and flanking storefront windows. Additionally, decorative elements provide visual interest and reflect the period when the building was constructed. These buildings are also located closer to the road than their mid-to late-twentieth-century counterparts. These newer buildings are more utilitarian in design and use modern construction techniques and materials.

Defining Characteristics

- **Site:** Shallow-to-no setback; close spacing; a row of street parking in front of the building; parking lots at the rear and side of buildings.
- **Style:** Early- to mid-twentieth century commercial vernacular; Moderne.
- **Features:** Gabled, shed, and flat roofs; large fixed storefront windows; multi-paned storefront windows; double-hung windows with a multi-light upper sash; central entry openings.
- **Scale:** One to two-and-a-half stories in height.
- **Material:** Brick, stone and concrete foundations; weatherboard-clad, brick and concrete block walls; asphalt or slate shingle and standing-seam metal roofs.



Examples of Commercial Buildings and Features in the Courthouse District



3. Institutional Buildings

Governmental, religious and educational buildings reflect the Courthouse District's historical development as the center of civic and social life in Cumberland County. The contributing institutional buildings in the Historic District illustrate a wide variety of styles: Federal, Greek Revival, Colonial Revival, Moderne, and vernacular. The Classical Revival-style Courthouse and its associated square are the central organizing feature in the historic district. Many institutional buildings were constructed of brick, set back from the road, and surrounded by large shade trees. The form of traditional institutional building often relates to their uses, a variety of which are located throughout the area.

Defining Characteristics

- **Site:** Deep setbacks; mature shade trees; parking on the street and at the side or rear of the building.
- **Style:** Federal; Greek Revival; Colonial Revival; Moderne; vernacular.
- **Features:** Porticos; Tuscan columns; tympanums; closed pediments, oculi windows; keystones; triple double-hung windows; steeples; operable louvered shutters; front and cross gabled roofs; symmetrical fenestration.
- **Scale:** One to two-and-a-half stories in height.
- **Material:** Stone and concrete foundations; brick and weatherboard-clad walls; asphalt and slate shingle roofs.



Examples of Institutional Buildings and Features in the Courthouse District



G. Defining Characteristics: Entrance Corridor

1. Residential Buildings

Residences along the Entrance Corridor reflect U.S. Route 60's rural character. Two of the most critical elements of this character are the viewshed and the landscape. Forest and thick vegetation obscure some dwellings, particularly those close to the road. Most homes along the Entrance Corridor generally recede into the landscape and are not visible from U.S. Route 60. The residential architecture along the route reflects the development of Cumberland County and includes many styles and forms that were popular in the nineteenth and twentieth centuries. Wood-framed I-houses, one-and-a-half-story bungalows, and ranch houses are examples of traditional forms found here. Many of which have domestic and agricultural accessory buildings, such as barns and sheds, located nearby.

Defining Characteristics

- **Site:** Large lots with agricultural fields; moderate-to-deep setbacks; large shade trees and shrubs; gravel driveways; accessory buildings and barns.
- **Style:** Colonial Revival, Queen Anne, Craftsman, vernacular.
- **Features:** Gabled and hipped roofs; interior brick chimneys; double-hung windows; operable louvered shutters; paneled doors; symmetrically balanced façades; full-width front or wrap-around porches without balustrades or with square balusters; overhanging eaves.
- **Scale:** One to two stories in height.
- **Material:** Stone and concrete foundations; wood and brick-veneered walls; asphalt shingle and standing-seam metal roofs.



Examples of Residential Buildings in the Entrance Corridor



2. Commercial Buildings

Commercial ventures began locating along U.S. Route 60 in the early to mid-twentieth century to take advantage of the increase in automobile traffic along the highway. These vernacular commercial buildings are located close to U.S. Route 60 to enhance their visibility to passing automobiles. The motel located at 687 Anderson Highway is an excellent example of mid-twentieth-century roadside architecture. Parking for commercial buildings is located in the front and side of the buildings.

Defining Characteristics

- **Site:** Shallow-to-no setback; a single row of parking in front or to the side of the building.
- **Style:** Mid-twentieth-century vernacular.
- **Features:** Gabled or flat roofs, covered entryways, large fixed storefront windows, inoperable shutters.
- **Scale:** One story in height.
- **Material:** Brick, stone and concrete foundations; weatherboard-clad, brick-veneered, and concrete-block walls; asphalt shingle, standing-seam, metal roofs.



Examples of Commercial Buildings in the Entrance Corridor



3. Institutional Buildings

Few institutional buildings are located within the Entrance Corridor. The lack of governmental or religious buildings reflects the corridor's development as a rural thoroughfare as opposed to a county center as the Courthouse District is. The two churches found along the Entrance Corridor (Cumberland Baptist and Shiloh New Covenant) were constructed within the past 50 years. Cumberland Baptist Church is an example of mid-twentieth-century ecclesiastical architecture. The churches have moderate-to-deep setbacks from U.S. Route 60 (between 150 and 200 feet) with asphalt drives, concrete walkways and parking located in front and to the side of the buildings. The churches are one to two stories in height with rectangular forms and front-gabled roofs.



Churches in the Entrance Corridor

Defining Characteristics

- **Site:** Moderate-to-deep setbacks; parking in front and to the side of the building; grassy lots with mature trees.
- **Style:** Mid-twentieth-century ecclesiastical.
- **Features:** Rectangular form with gabled roof; steeple.
- **Scale:** One story in height.
- **Materials:** Concrete block; poured concrete foundation; brick veneer, vinyl siding; asphalt and slate shingles.

Cumberland County

III. Site Design Guidelines





A. Signage

Signs are a fundamental component to an attractive and active streetscape. A sign is a necessary tool for a business to attract attention yet it is crucial to find a balance between calling attention to a building and detracting from the overall character of the community. The primary function of a sign should be to identify a business rather than to serve as an advertisement.

Careful consideration should be taken when choosing the location, size, and style of the sign. Poorly designed or deteriorating signage may discourage new visitors and hurt the image of a business and the district as a whole.

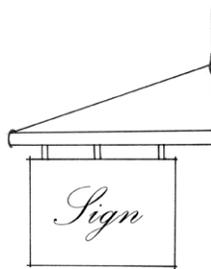
A variety of sign styles can be found in Cumberland County Courthouse Historic District and Entrance Corridor and provide unique examples of successful design characteristics. Recommended signage is dependent upon its location in the district and the intended use of the building.



Wall sign



Freestanding



Mounted-projecting



Within the Courthouse Historic District and Entrance Corridor there are a variety of sign styles that are character-defining and should be retained including: slate ground-mounted (top), brick ground mounted (middle), and wall signs (bottom).



1. Courthouse Historic District

Types of signs found in the Courthouse Historic District vary by use: commercial buildings typically have ground-mounted, projecting, and wall signs; institutional buildings typically have ground-mounted signs; residential buildings occasionally have freestanding or mounted projecting signs. Historic sign materials found in the district include: brick, metal, slate, and wood.

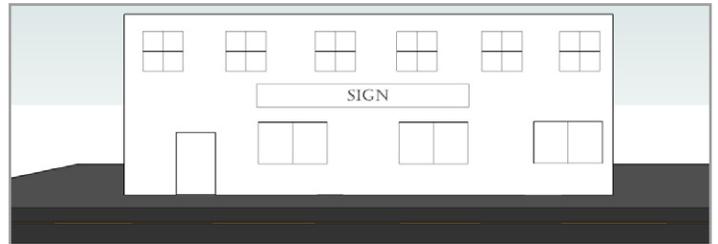
Recommended:

- The size of the sign should be proportionate to the size the building and adjacent buildings.
- Signs attached to buildings or other historic resources should not be affixed in such a way as to result in permanent damage to historic materials.
- Freestanding signs should have a base no taller than three feet.
- Signs should neither detract from, nor hide defining architectural elements of the building.
- Signs should be sited to help identify a business' primary entry and should not obstruct pedestrian movement.
- External lighting for signs should be concealed.
- Signs and mounting elements should be made of traditional materials including wood, brick, slate, and metal. Lettering should be painted, raised metal or wood.
- Sign colors should complement the associated building.

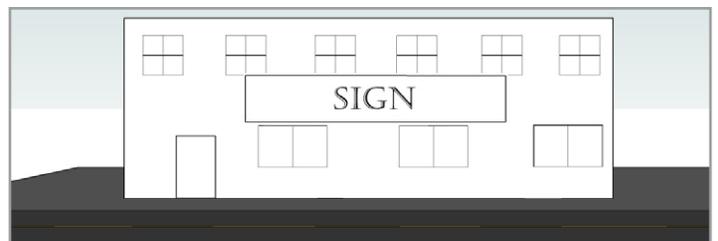
Not Recommended:

- Large monumental, billboard, and menu-style signs.
- One sign should have no more than 2-3 different colors.
- Internally illuminated (box signs).

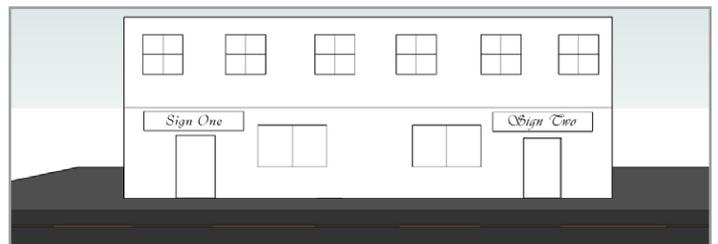
- Multiple signs per business. Commercial buildings with multiple vendors should have one sign per business.



Sign should be proportionate to associated building.



Above is an example of a sign that is not proportionate to the building. Signs distracting from architectural features are not recommended.



Buildings with multiple businesses should limit signage to one per business.



Above is an example of multiple signage that is not recommended



2. Entrance Corridor

Types of signs found in the Entrance Corridor vary by use: commercial buildings typically have mounted-projecting and wall signs, while residential markers are typically freestanding signs. Historic sign materials found in the Entrance Corridor include: brick, slate, and wood.

Recommended

- The size of the sign should be proportionate to the size of the building and its associated lot.
- Freestanding signs should have a base no taller than three feet.
- Freestanding signs should be located in the front yard and perpendicular to the building.
- Mounted-projecting signs should be mounted to the first story exterior wall or non-historic supports.
- Wall signs should be located on the first story or between porch supports.
- Signs should be sited to help identify a business' primary entry and should not obstruct pedestrian movement.

Not Recommended:

- External or internal lighting; indirect lighting is preferable.
- Multiple signs per building. Commercial buildings with multiple vendors should have one sign per business.



Signs found in the Entrance corridor are typically freestanding, or wall signs. The examples above are good examples of styles that are common and should be retained.



B. Driveways, Walkway, and Parking Areas

Driveways, walkways, and parking areas form the main connective networks between buildings and help define the rhythm in the Courthouse Historic District and the Entrance Corridor. Driveways typically connect the street to a garage or parking area. Walkways provide pedestrians with safe access to and from their homes, points of attraction, and commercial areas. Parking areas are primarily for commercial, religious, and institutional buildings and provide parking for workers, residents, and visitors.

On-street parking is common in the Historic District; however, the location for new parking areas should be on the side or rear of the building. Where on-site parking is necessary, screening elements and clearly defining parking areas can minimize the visual impact that vehicles have on the district. Maintaining and improving walkways to accommodate foot traffic can help encourage and connect pedestrian activity to the district.



Brick walls provide clear pathways for pedestrians and buffer zones.



Extended gravel driveways in less dense areas are important to the character of the district and Entrance Corridor.



Landscaping elements can reduce the visual impact vehicles have on the setting of the streetscape.



1. Courthouse Historic District

Driveways found in the residential areas of the Courthouse Historic District extend along the side and rear of houses and are typically dirt or gravel. Walkways have little to no buffer between the property yard and street. The most common sidewalk surface material is concrete. A row of on-street parking is typically located along the main street. Parking areas for commercial buildings tend to be gravel or surfaced lots located on the side or rear of the building.

Recommended

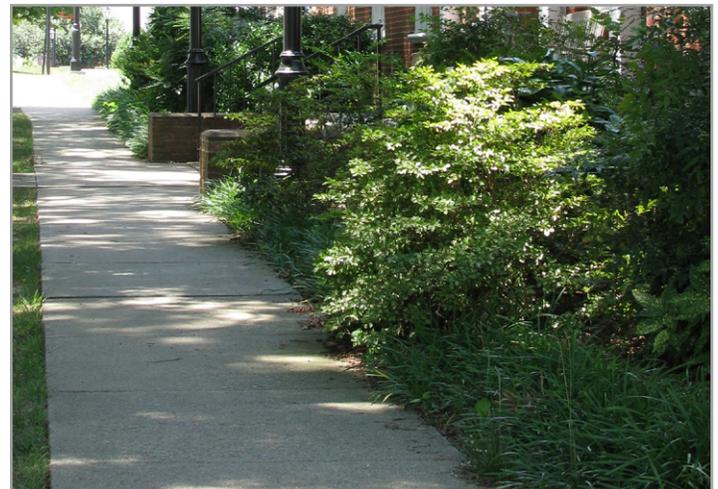
- Retain existing historic paving materials such as gravel, dirt, brick, and stone.
- New parking areas for commercial buildings should be located at the rear of the business so that they are not visible from the primary pedestrian right-of-way.
- Retain or install vegetative buffers, shading, and appropriate street lighting near walkways.
- Replace damaged surfaces with historic paving materials.
- Where possible, install a low screening element such as a brick wall, fence, or hedge (maximum 42" high) around parking areas to screen automobiles.

Not Recommended:

- Adding new surfaced parking lots that front on a main street.
- Removing or relocating historic walkways or driveways.
- The use of non-historic paving materials for new driveways, walkways, or parking areas.



Gravel driveways are commonly found in the Courthouse Historic District and should be retained.



Sidewalks with vegetative buffers are recommended.



New parking lots for commercial buildings should consider locating parking on the side or rear of the building.



2. Entrance Corridor

Driveways found in the residential areas of the Entrance Corridor are typically wishbone-shaped or gravel driveways that extend along the side to the rear of the house. The corridor lacks clearly marked or paved walkways. Parking for commercial and institutional buildings are typically horseshoe-shaped and located in the front or to the side of the building.

Recommended:

- Retain existing historic paving materials such as gravel and dirt.
- Where possible, new parking lots for commercial buildings should be located to the rear of the business or in an area that it is not visible from a primary public right-of-way.
- Replace damaged surfaces with historic paving materials or consider permeable surface materials.
- Where possible, install a low screening element such as a brick wall, fence, or hedge (maximum 42" high) around parking areas to screen automobiles.

Not Recommended:

- Adding new surfaced parking lots that front on U.S. Route 60.
- Removing or relocating historic driveways.
- The use of non-historic paving materials for new driveways, walkways, or parking areas.



Gravel driveways are commonly found in the Entrance Corridor and are a character-defining feature that should be retained.



Parking areas associated with institutional and commercial buildings in the Entrance Corridor, as seen above, are commonly located on the side of the building.



C. Landscape

It is important to preserve both the proportion of open green area to building mass, and the formal or informal character of the landscaping. Existing hedges demonstrate that foliage can be as effective as fences in creating physical enclosure or visual screening. While not necessarily historic, elements of the landscape, such as hedges, foundation plantings, ground cover, terraces, fountains, and gardens, all contribute to the character of a property and the Courthouse Historic District and Entrance Corridor as a whole. Proper maintenance of the elements listed above, in addition to mature trees and lawns, can contribute to the enjoyment of the area by residents, workers, and visitors.

Landscaping can also effectively be used as a screening tool for parking areas, mechanical equipment, and other unsightly elements of a building and its site. Plantings can soften the impact of large parking areas associated with retail establishments. Landscaping elements can also be used to provide a buffer between large expanses of asphalt and sidewalks.

Additionally, the proper maintenance of landscapes found within the Courthouse Historic District and Entrance Corridor plays a critical role in preserving viewsheds found in the area. Viewsheds are defined as vast areas of land or other environmental elements visible from a fixed vantage point. Viewsheds are crucial planning components as they are part of the overall “green infrastructure” of Cumberland County and greatly contribute to creating a unique sense of place.





1. Courthouse Historic District

Within the Courthouse Historic District, landscaping features are most prominent in residential and institutional areas. In residential areas, mature trees line the streets and are complemented by grassy lawns and front yard plantings. Institutional areas typically have interspersed mature trees, grassy lawns, and foundation plantings of flower and shrubs. Commercial areas typically have minimal to no plantings, however the streetscape near these areas could benefit from appropriate landscaping such as shrubs or flower beds.

Recommended:

- Maintain existing historic landscaping where possible. If replacement is necessary, replace in-kind or with a similar species. Native species are preferable.
- Regular and appropriate maintenance, such as pruning, to ensure the proper health and appearance of landscaping.
- Landscaping in front yards should reflect the period of the building.
- Planters and window boxes should be proportionate to the building and windows.

Not Recommended:

- Removal of contributing healthy live trees or shrubs.
- Locating plants near or on an historic building in a manner that may cause damage to the building, such as planting too close to the foundation.





2. Entrance Corridor

Landscaping features in the Entrance Corridor are less formal in comparison to those in the Courthouse Historic District. Landscaping features serve to enhance the pastoral character of the corridor. Mature trees line the yards of residential, commercial, and religious buildings. In residential areas, landscaping is typically confined to expansive grassy lawns interspersed with mature trees and foundation plantings of flowers and shrubs. Commercial and institutional properties have fewer elements and mainly feature large areas of grassy lawn.



Recommended:

- Maintain existing historic landscaping where possible. If replacement is necessary, replace in-kind or with a similar species. Native species are preferable.
- Regular and appropriate maintenance, such as pruning, to ensure the proper health and appearance of landscaping.
- Maintain vegetative buffer along Route 60.



Not Recommended:

- Removal of contributing healthy live trees or shrubs.
- Locating plants near or on an historic building in a manner that may cause damage to the building, such as planting too close to the foundation.





D. Fences and Walls

Fences and walls along a public-right-of-way help to separate public and private spaces. While there are a variety of styles of fences and walls in the Courthouse Historic District and Entrance Corridor, uniformity in height helps enhance the pedestrian scale and contributes to the overall character of the right-of-way. Fences are composed of an assortment of materials including wood, post-and-wire, and landscaped hedges. The variation in materials helps to define the character of the historic district and corridor, as well as an individual property.

Problems commonly associated with these features include lack of maintenance, such as peeling paint, rust, and overgrown hedges, or inappropriate replacement.





1. Courthouse Historic District

Fences and walls surround many buildings in the Courthouse Historic District. Brick walls and wood picket fences line much of the Courthouse complex. Wood fences and landscaped hedges are common around residential buildings. Walls and fences are typically no higher than three feet, allowing for adequate separation rather than complete enclosure.

Recommended:

- Retain, repair and maintain existing historic fences, walls and hedges.
- If it is necessary to replace a historic fence or wall, match the original in height, material, and color. If it is not feasible to match the material, replace it with a substitute material that matches the texture, profile, and color as closely as possible.
- New fences and walls should be compatible with the associated building and adjacent properties and set in line with adjacent fences.
- If desired, fences and walls that are not readily visible from the primary public right-of-way may be used to separate or enclose rear or side yards.

Not Recommended:

- Removing historic fences and walls.
- Installing fences or walls that are not a compatible scale, height, nor setback.
- While chain link and vinyl fences can be found in the district, when considering repairing, replacing, or new construction, consider fences made with historic materials such as wood or stone.
- Block walls constructed of concrete masonry units (CMU), or split-faced block.





2. Entrance Corridor

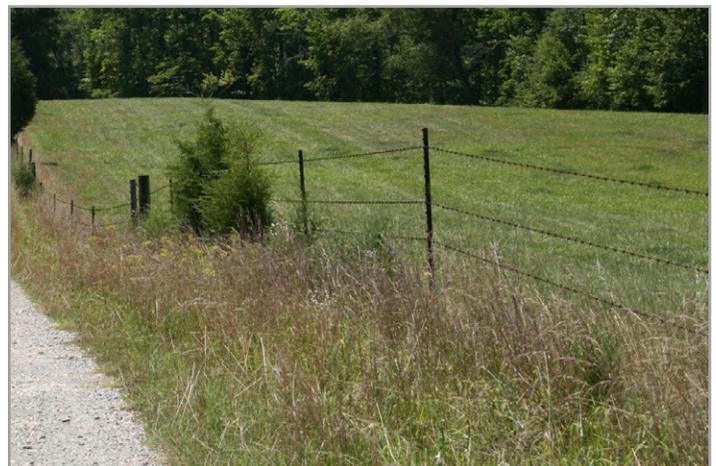
Fences and walls in the Entrance Corridor are typically constructed of wood, stone, and post-and-wire. Fences and walls are most commonly found around residential buildings. These walls and fences are typically no higher than three feet, allowing for adequate separation rather than complete enclosure.

Recommended:

- Retain, repair and maintain existing historic fences, walls and hedges.
- If it is necessary to replace a historic fence or wall, match the original in height, material, and color. If it is not feasible to match the material, replace it with a substitute material that matches the texture, profile, and color as closely as possible.
- New fences and walls should be compatible with the associated building and adjacent properties and set in line with adjacent fences.
- If desired, fences and walls that are not readily visible from the primary public right-of-way may be used to separate or enclose rear or side yards.

Not Recommended:

- Removing historic or existing appropriate fences and walls.
- Installing fences or walls that are not a compatible scale, height, nor setback.
- While chain link and vinyl fences can be found in the district, when considering repairing, replacing, or new construction, consider fences made with historic materials such as wood or stone.
- Block walls constructed of concrete masonry units (CMU), or split-faced block.





E. Outdoor Lighting

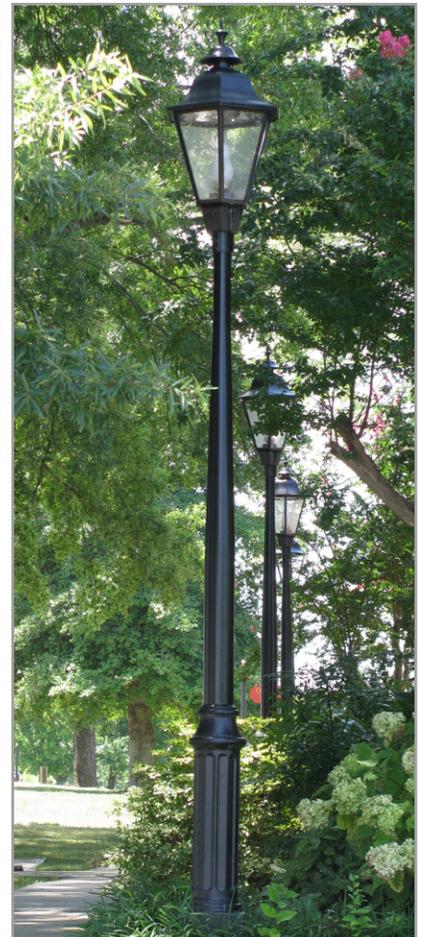
Lighting technology has advanced rapidly since the initial settlement of the Courthouse Historic District and Entrance Corridor. Over time, electric lights have subsequently replaced candles, oil lamps and gas lights. Although electric lights may not be an original feature, their function and form may contribute to the historic character of a building. In both the Courthouse Historic District and Entrance Corridor, porch lights are often sufficient to provide ample lighting for residential properties. Commercial and institutional buildings require lighting near entrances, pathways and parking lots to facilitate safe pedestrian access.

Recommended:

- Retain and repair historic light fixtures.
- Replace historic light fixtures only when parts for existing fixtures are no longer available and cannot be replicated.
- New lighting fixtures should be compatible with other buildings and site features.
- Residential lighting should be understated, yet allow for adequate lighting for the safety of pedestrians.
- New exterior lights should be shielded, recessed or flush-mounted to eliminate glare.
- The height and scale of freestanding, pole-mounted light fixtures should be compatible with the height and scale of buildings in the immediate vicinity.

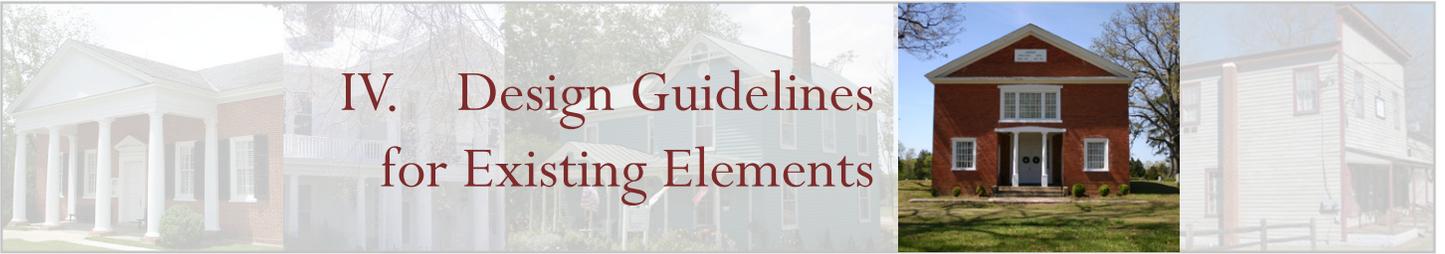
Not Recommended:

- Bright floodlights
- Lighting that spills over onto adjacent properties.
- Obscuring, overwhelming or damaging character-defining architectural details with lighting installation.



Cumberland County

IV. Design Guidelines for Existing Elements





A. Exterior Building Materials

Materials used on the exterior of a building define and articulate the architectural style of a building. The pattern, size, texture, and color of these elements provide a distinct architectural and historical identity to a particular style or building. Collectively with surrounding buildings, these elements create the unique character of the Courthouse Historic District and Entrance Corridor.





1. Wood

Wood is one of the most popular historic building materials in both the Courthouse Historic District and the Entrance Corridor. It is used for structural, decorative, and utilitarian purposes. Many weatherboard-clad houses and their decorative elements have been covered in aluminum, asbestos, or vinyl siding in recent years, resulting in a loss of architectural detail and historic character.

Typical problems with wooden siding and trim, such as peeling paint and rot, generally result from a lack of proper scraping, caulking, and painting to protect the wood from moisture infiltration.

Recommended:

- Retain and rehabilitate original wood siding, trim, and details whenever possible. If replacement is necessary, use new wood that matches the original in dimension, shape, detail, and texture.
- Repair damaged sections of siding with matching material and detailing rather than replacing entire element.
- Removal of synthetic or metal siding that covers original wood siding is encouraged. Remove inappropriate siding carefully so that the underlying wood is not damaged.

Not Recommended:

- Cleaning wood surfaces with high-pressure methods, such as sandblasting and water blasting.
- Replacing or covering wood siding, or trim with modern synthetic materials such as vinyl or aluminum.

Wood Maintenance

Wood is a traditional building material with good insulating qualities. It will last indefinitely if it is properly protected and maintained with caulk and paint. Regular inspection of wood details and surfaces will identify areas of deterioration and damage. Because wood expands with the introduction of moisture, caulks and flexible sealants are used to seal wood joints and prevent the entry of water beneath the wood surface. Paints and coatings on the wood surface protect it from deterioration due to ultraviolet light as well as moisture. The *Preservation Briefs* provide additional information on the preparation and the maintenance of painted surfaces.





2. Masonry

Masonry is a common material used for exterior walls and foundations for historic buildings and numerous examples can be found in the Cumberland Courthouse District and the Entrance Corridor. Masonry construction includes brick, stone, and concrete block. The texture, scale, color, bonding pattern, joints, and details of masonry surfaces can all contribute significantly to the overall character of the historic buildings. Masonry features such as roofing tiles, chimneys, arches, quoins, lintels, sills, cornices, and pediments further define a building's historic character.

Recommended:

- Retain and rehabilitate original masonry materials including walls, foundations, and roofs.
- Retain and preserve all masonry construction features including chimneys, arches, lintels, sills, quoins, cornices, and pediments.
- When replacement is necessary, use new materials that match the original materials in composition, size, shape, color, pattern, and texture.
- Repoint mortar joints of masonry surfaces. This includes the careful removal of deteriorated mortar by hand-raking the joints. Electric saws or hammers can damage the masonry. Duplicate strength, composition, texture, and color of original mortar, plaster or stucco. The width and profile of original mortar joints should also be matched.

Not Recommended:

- The application of paint or other coatings to historically unpainted masonry elements.
- Sandblasting and other harsh cleaning methods.

- The application of nontraditional masonry coatings, such as waterproofing and water repellents, as a substitute for repointing or repair.
- Removal of paint from masonry surfaces; as it can cause extensive damage.



Masonry Maintenance

Masonry is one of the most solid and durable building materials. Regular inspection of masonry for cracks and signs of moisture damage will catch problems before they become serious. Ensuring that water does not collect at the base of masonry foundations or chimneys will also prevent masonry deterioration. Removal of vegetation that may cause structural damage or dislodge mortar is important. Cleaning of masonry should only take place when necessary to remove heavy soiling or prevent deterioration. Use the gentlest means possible. A simple garden hose is a good start.



B. Windows

Windows are one of the most important character defining features of a building. Defined by their proportion, shape, location, type, and size, windows reflect distinctive architectural and stylistic periods. Windows in the Courthouse Historic District and Entrance Corridor primarily consist of wooden double-hung sashes that are vertical in proportion. Types of glass include plate glass, tempered glass, glass block and stained glass. Windows add interest to the distinctive architecture found in the Courthouse Historic District and the Entrance Corridor.

Recommended:

- Retain and repair original windows. (Maintenance of original windows is generally less expensive than replacement.) Simple repairs can address peeling paint, broken glass, and a stuck sash.
- Repair damaged elements rather than replacing the entire window.
- Re-caulk windows to weatherproof and improve energy efficiency.
- If windows are beyond repair or storm windows are necessary to improve energy efficiency, replace in-kind with similar design and materials (see windows section in Chapter V for further guidance).

Not Recommended:

- Removing or replacing windows due to peeling paint, broken glass, stuck sash or energy inefficiency.
- Removing or altering windows that are important in defining the historic character of the building.
- Altering the size of existing window openings.
- Covering window elements with sheet metal or synthetic materials.
- False muntins or other removable features.





C. Roofs

Defined by shape, slope, features, materials, and details, roofs contribute significantly to the historic character of the buildings. Variations in line, pitch, overhang, and materials can often help identify and convey building styles. Roof forms found in the Courthouse Historic District include: gabled (front, side, and cross), and hipped. In the Entrance Corridor roof forms include: gabled (front, side, and cross), flat, shed, and hipped.

The front, side gable, and more complex multiple-gable roofs are common variations of the simple roof form found in both the Courthouse Historic District and the Entrance Corridor. Shed roofs and occasional flat roofs are primarily confined to porches and rear additions of dwellings. A variety of roof features contribute to the character of the historic district, including chimneys and dormers. Cupolas and balustrades also add to the variety and character of a building and should be retained.

Roof Materials

Roofing materials in both the Courthouse Historic District and Entrance Corridor vary from metal clad to asphalt or slate shingles.

Recommended:

- Preserve the original shape, line, pitch, and overhang of historic roofs.
- Preserve historic roofing materials or replace in-kind. If replacement is necessary, use new materials that match the historic material in composition, size, shape, color, pattern, and texture.
- Consider substitute materials only if the use of an original material is no longer available or its use is no longer advised.

Not Recommended:

- The placement of roof antennas and other projections on the front or street elevations of the building. These

features should be located inconspicuously on rear slopes not readily visible from the street.

- New roof features that diminish the original design of the roof or damage historic roofing materials or features, particularly on primary elevations of the building.





D. Doors

The door, in conjunction with the surrounding entry, is often the focal point of the facade of a building. The variety of door styles and patterns revealed through size, proportions, materials, and frequency combine to create a significant character-defining feature for the Courthouse Historic District and Entrance Corridor. Buildings generally display more elaborate doors on the primary facade, designating the main entrance. Secondary entries are often less elaborate due to their more utilitarian nature. Outbuildings also reveal important stylistic and functional doors.

Door Forms and Materials

Both solid-panel wooden exterior doors and combinations of wooden panels are typical in the historic district. Most are single- or double-leaf in form.

Recommended:

- Where possible, preserve original doors.
- Repair or replace only the damaged portion of a door, its frame, hardware, and/or sill.
- If complete replacement of a door is necessary, the replacement door should match the original in dimension, configuration, material, and detail to the greatest extent possible (see Windows and Doors section in Chapter V- New Construction for further guidance).

Not Recommended:

- Using a door that requires alteration of the original door opening.
- Using a new door that diminishes the original design of the building or damages historic materials and features.



Example of a double-leaf wood door.



Example of a single-leaf wood door.



E. Porches

Porches and covered entrances are often the focal point of the primary facade of an historic building and, due to their decoration and articulation, help define the architectural style. Porches have traditionally been a social gathering place as well as transitional space between the exterior and interior of a building. Porches or porticos are very common on houses built prior to the widespread use of air-conditioning. Common porch forms include porticos and balconies. The various functional components of porches and entrances, include: steps, balustrades, columns, pilasters, doors, and entablatures/cornices.

Porch Material

Most porches in the both the Courthouse District and Entrance Corridor are constructed and detailed in wood, including balusters and columns. Painted tongue and groove floorboards and beaded-board ceilings are typical. Because of the exposed nature of porches and entrances, maintenance is a continuous concern.

Recommended:

- Where possible, retain porches, entrances, balconies and other original character-defining architectural features of porches including piers, columns, pilasters, balustrades, steps, brackets, and trim.
- Reconstruction of a missing porch, entrance, or balcony requires accurate evidence of the original structure. If such documentation does not exist, a design that is compatible with the building in height, proportion, roof shape, material, texture, scale, and detail.

Not Recommended:

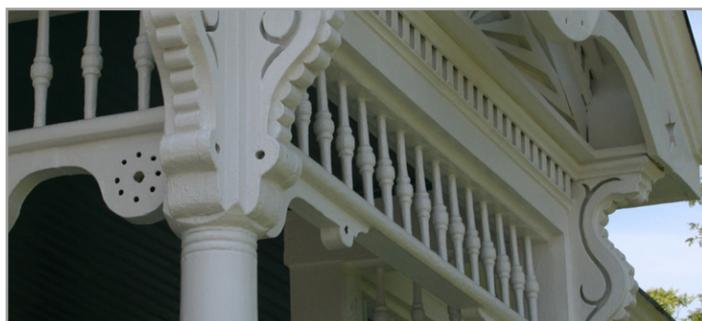
- Creating a false historical appearance through the inappropriate application of elements and details to a porch.
- Adding new porches, entrances, or balconies to primary elevations of building where none originally existed.
- Enclosing an open porch.





F. Decorative Details

Although porches, windows, roofs, and entrances are often the most prominent decorative features of a building, purely decorative architectural details combine to more clearly articulate or define an architectural style of a building. These character-defining details, often constructed of wood, include, but are not limited to, cornices, columns, cornerboards, cornice returns, balustrades, decorative wood shingles, and exterior cladding. The pattern, the size, the texture, and even the color of these elements provide a distinct architectural or historical identity to a particular style or building.



Recommended:

- Repair historic decorative details that show deterioration, paint failure, or the loss of features.
- Follow wood restoration guidelines for decorative details (see building exterior section of this chapter).
- Replace deteriorated decorative details only in areas where maintenance is impossible; the replacement detail should be based on physical or historic evidence.



Not Recommended:

- Removal of historic decorative elements.
- The addition of conjectural decorative elements without historic evidence that they existed.
- Obscuring decorative elements with modern cladding or additions.



G. Storefront

A storefront is defined as the entrance of a commercial building that has one or more windows to display merchandise. The form of storefronts varies, yet repeating elements such as windows, porches, recessed entries, and cornices provide a distinct appearance in both the Courthouse Historic District and Entrance Corridor.

Recommended

- Retain and repair all original and historic elements, materials, and features related to storefronts.
- Follow the existing configuration, proportions, and materials of traditional storefront design when designing new elements such as stairways or ramps.

Not Recommended:

- Creating a false historical appearance of storefronts not related to architectural styles found in the Courthouse Historic District or Entrance Corridor.



Cumberland County

V. New Construction, Demolition, Alterations, & Relocation





A. Design Philosophy: Compatibility

The following chapter provides recommendations to assist in the design of alterations, additions, and new construction in the Cumberland Courthouse Historic District and Entrance Corridor.

The philosophy underpinning these guidelines is one of compatibility. The guidelines are intended to facilitate the creation of new buildings that are harmonious with their historic setting. The guidelines do not advance a certain aesthetic, but seek to encourage development that is sympathetic to the character of the Courthouse Historic District and Entrance Corridor.

Design that successfully integrates new construction into the historic fabric will enhance the sense of place in Cumberland County. Conversely, incompatible design will detract from the sense of community and have a negative effect on the integrity of the historic district. Therefore, compatibility should be the overarching concern when evaluating the appropriateness of new construction.



Above: the former Cumberland Bank served as the schoolhouse during the 1930s

Below: a new middle school being constructed in the Courthouse Historic District

Source: Cumberland County Historical Bulletin - 1986





B. Architecture

The architecture in the Courthouse Historic District and Entrance Corridor serves as a record of its own time. As previously noted, the Courthouse District and Entrance Corridor are home to a variety of architectural styles spanning several centuries. This diversity of styles contributes to the vibrancy and character of the Courthouse Historic District and Entrance Corridor.

The architecture of new buildings should contribute to the diversity of styles found in the area and serve as a record of the present day. The architectural style of new construction should not attempt to replicate historic styles. At the same time, the architecture of new buildings should not clash with extant styles. Therefore, the design of new buildings should be modern, yet complementary to the traditional forms embodied in nearby contributing buildings.

Creativity on the part of owners, architects and builders is encouraged to develop innovative design solutions for new buildings that enhance the character of the Courthouse Historic District and Entrance Corridor and quality of life found there.



A recently constructed building in the Entrance Corridor

SITING AND DESIGN

The following elements for new construction and major alterations should be compatible with the traditional architecture in the Courthouse Historic District and Entrance Corridor (see Chapter II for a description of traditional architectural forms):

- Building Setback
- Orientation
- Spacing
- Massing
- Scale
- Materials, Colors & Details
- Windows and Doors

Chapter V (Guidelines for Alterations, Additions, New Construction and Demolition) is intended to complement Chapters III (Site Design Guidelines) and IV (Design Guidelines for Existing Elements). Relevant sections in previous chapters should be consulted in conjunction with the recommendations in Chapter V.



C. Building Setback

Setback refers to the distance from the front of a building to the street. The setback for historic buildings within the Courthouse District and Entrance Corridor varies based on the use (residential, commercial or institutional) and the lot size, but it is generally consistent for adjacent buildings along a street.

1. Courthouse Historic District

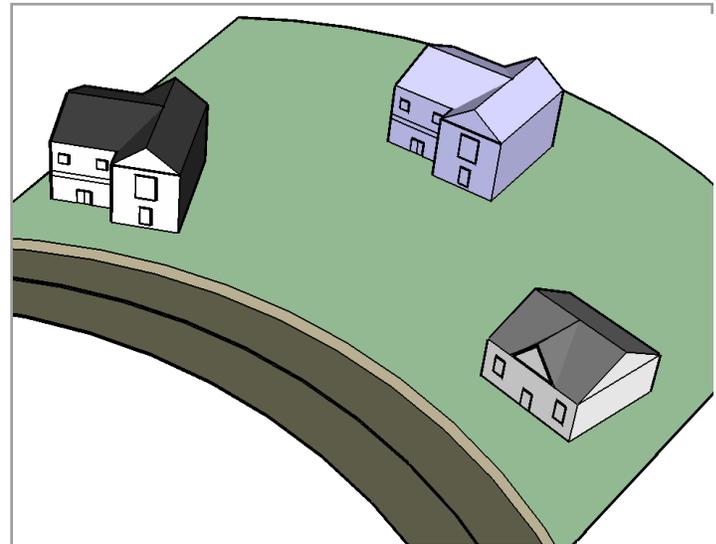
Setbacks in the Courthouse Historic District are shallower than setbacks in the surrounding county. The centrality of the village necessitated a denser pattern of development. The typical setback for historic residences is between 30 and 150 feet. Historic commercial buildings have very shallow setbacks—several storefronts are flush with the property line. Institutional buildings have deep setbacks to impart a sense of grandeur and importance. Although setbacks in the Courthouse Historic District vary by use, they are typically consistent along a block.

Recommended:

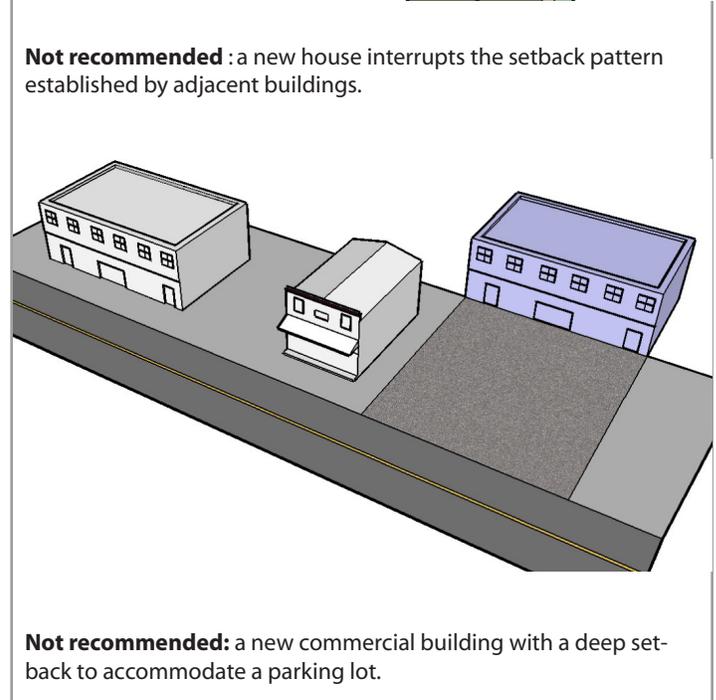
- Setbacks for new buildings should relate to the setbacks for historic buildings of similar use (residential, commercial or institutional).
- Setbacks for new buildings should follow the prevailing setback of historic buildings in the immediate vicinity.

Not Recommended:

- Setbacks for new buildings that interrupt the prevailing setback along the street.
- Large setbacks to accommodate parking areas.



Not recommended: a new house interrupts the setback pattern established by adjacent buildings.



Not recommended: a new commercial building with a deep setback to accommodate a parking lot.



2. Entrance Corridor

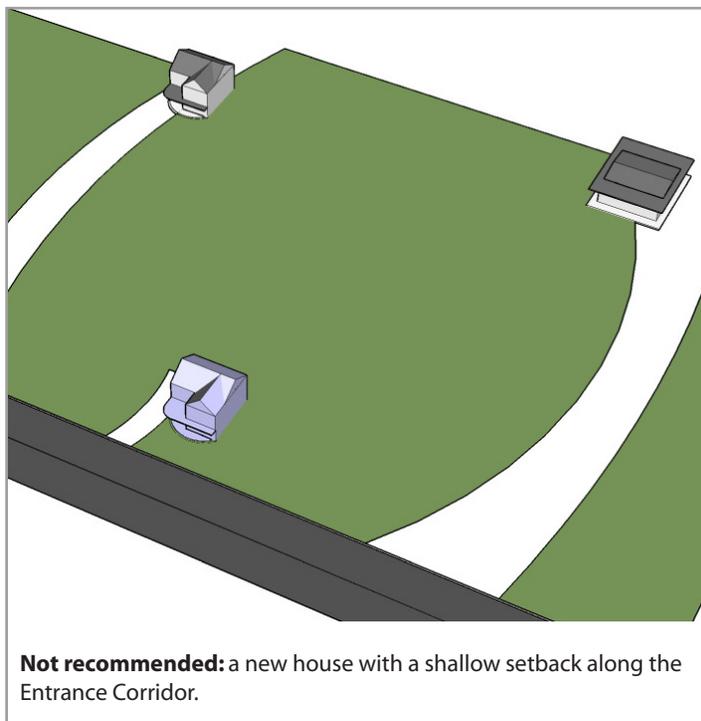
Moderate to deep setbacks along U.S. Route 60 contribute to the rural character of the Entrance Corridor. A typical setback for historic residential buildings in the Entrance Corridor is between 150 and 500 feet (or more). Houses are often separated from the road by deep grass fields and often they cannot be seen from the public right-of-way. Historic commercial buildings have shallow setbacks to allow for visibility and access.

Recommended:

- New residential construction in the Entrance Corridor should continue the pattern of moderate to deep setbacks to preserve the Entrance Corridor's rural character.
- New commercial construction should have shallow setbacks to allow for visibility and access.
- Setbacks for new buildings should follow the setback of buildings in the immediate vicinity.

Not Recommended:

- Shallow setbacks for new residential construction along U.S. Route 60.
- Large setbacks to accommodate parking areas for commercial or institutional buildings.



A typical setback along the Entrance Corridor



D. Orientation

Orientation refers to the direction in which the main façade of the building faces.

1. Courthouse Historic District

Most buildings in the Courthouse Historic District face a primary street with their principal entrances in full view.

Recommended:

- The façades of new buildings should be oriented toward the primary street frontage.
- If a building is to be constructed on a corner lot, its facade should be oriented toward the major road.

Not Recommended:

- New buildings should not be oriented toward internal parking areas or courtyards.

2. Entrance Corridor

Generally, residential buildings along the Entrance Corridor are oriented toward U.S. Route 60. Historic commercial buildings are also oriented toward U.S. Route 60 with their principal entrances in full view.

Recommended:

- The façades of new buildings should be oriented toward U.S. Route 60.
- The entrances to new commercial buildings should be visible from U.S. Route 60.

Not Recommended:

- New buildings should not be oriented toward internal parking areas or courtyards.



Houses and businesses in the Courthouse Historic District are oriented toward the principal street



Houses in the Entrance Corridor are oriented toward Route 60



E. Spacing

Spacing refers to the distance between sides of buildings. This distance establishes the overall rhythm along the streetscape. As with setbacks, spacing can vary depending on the use and the size of the lot; however, adjacent buildings typically have a consistent spacing.

1. Courthouse Historic District

The relatively close spacing in the Courthouse Historic District reflects the village's position as the center of government and commerce in Cumberland County. The average spacing between historic residential buildings in the Courthouse Historic District is between 30 and 50 feet. The spacing between historic commercial and institutional buildings varies, but it can be as close as a few feet.

Recommended:

- Spacing for new construction should be consistent with the average spacing between adjacent historic buildings.

Not Recommended:

- Spacing for new development should not interrupt the rhythm established by historic buildings along the streetscape.

2. Entrance Corridor

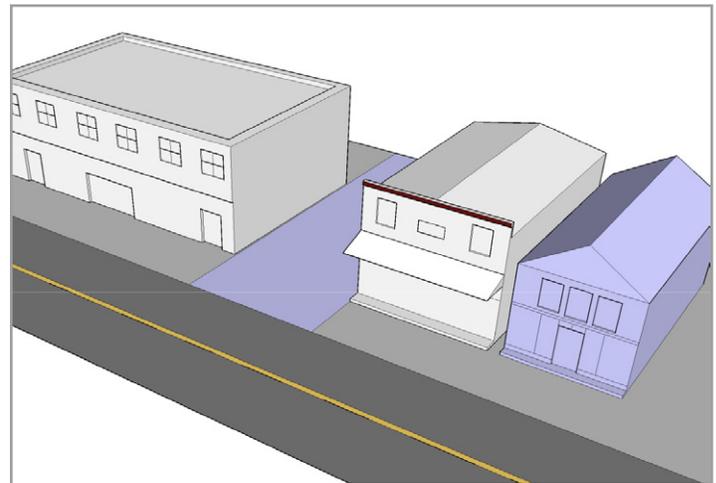
The large lots and wide spacing between buildings are an integral element of the rural character along the Entrance Corridor. Buildings along the corridor can be spaced up to a third of a mile (or more) apart.

Recommended:

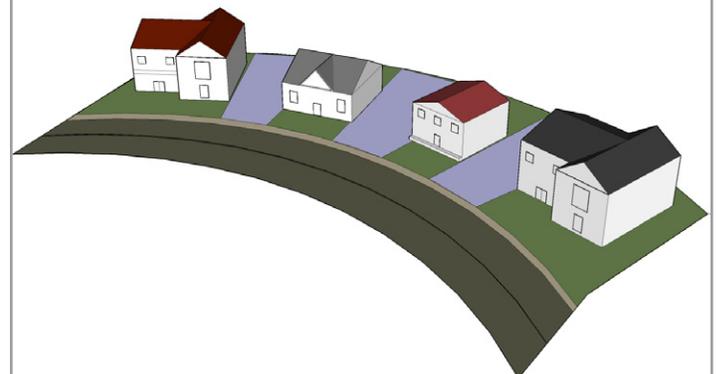
- Spacing for new construction in the Entrance Corridor should be consistent with the average distance between existing buildings along U.S. Route 60.

Not Recommended:

- Close spacing that detracts from the rural character of the Entrance Corridor.



Vacant lots have created wide spacing between commercial buildings in the Courthouse district. Infill development may serve to reknit the historic fabric along the main thoroughfare. New commercial development should be located adjacent to existing buildings. Corridors may provide access to parking at the rear of the buildings.



Recommended: consistent spacing between residential buildings in the Courthouse Historic District and Entrance Corridor.



F. Massing

The massing of a building refers to its three-dimensional size or bulk. Massing also refers to a combination of masses that create a building's volume and form (the overall complexity and shape). The level of complexity relates to the building's style and use.

1. Courthouse Historic District

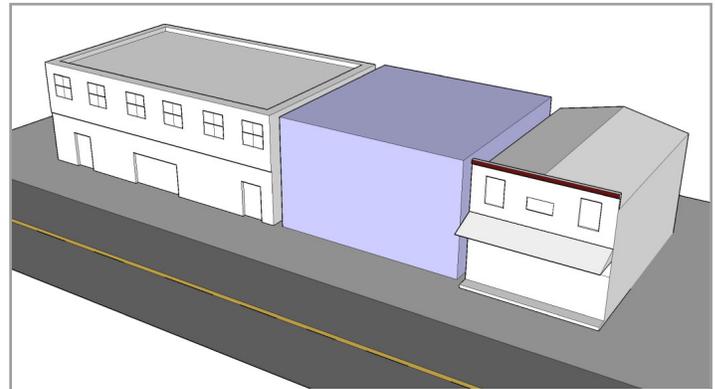
The massing of buildings in the Courthouse Historic District varies based on the type (residential, commercial or institutional) and style of a building. Generally, the massing and complexity of a building corresponds to those of adjacent buildings.

Recommended:

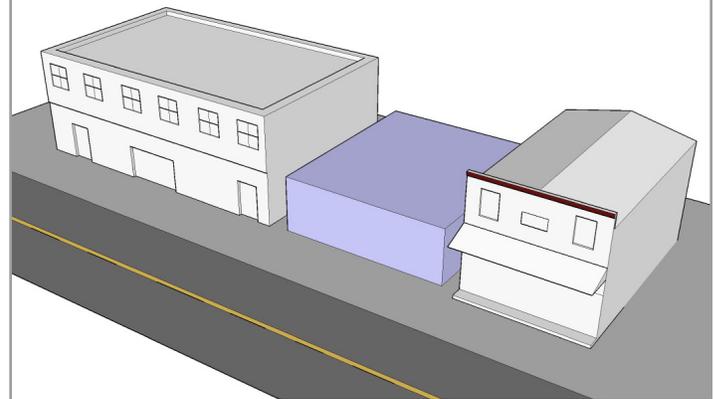
- The massing of new buildings should conform to the massing of adjacent historic buildings.
- The massing of large buildings should be reduced by articulating wall surfaces, varying the roof height, changing the fenestration pattern, or creating vertical bay divisions.
- Variations in materials, textures, and colors should be employed to reduce the massing of large buildings.
- The form of new buildings should relate to the form of adjacent historic buildings.

Not Recommended:

- The massing of new buildings should not overwhelm adjacent buildings.
- Bulky, cumbersome, or large buildings with unvarying facades.
- The overall massing of existing buildings should not be drastically changed by new additions.



Recommended: the massing of the new building (in the center) conforms with the massing of the existing buildings.



Not Recommended: the massing of the new building does not conform with the massing of the existing buildings.

Large Lot Development

New commercial buildings are often built on lots that are much larger than traditionally sized parcels. The massing and scale of large lot developments may overwhelm nearby historic buildings. Large lot developments in both the Courthouse Historic District and the Entrance Corridor should employ design techniques to reduce their perceived massing. These techniques may include breaking up expansive walls using vertical bay divisions, varying building heights and employing a variety of materials.



Massing



Not recommended: the massing of new residential buildings should not overwhelm adjacent buildings.



Recommended: the form of residential new buildings should relate to the form of adjacent historic buildings



2. Entrance Corridor

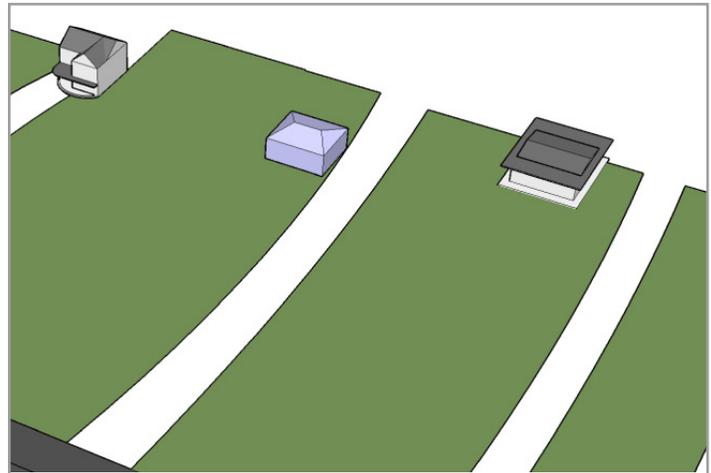
The massing of buildings in the Entrance Corridor varies based on the type (residential, commercial or institutional) and style of a building. Generally, the massing and complexity of a building corresponds to those of adjacent buildings.

Recommended:

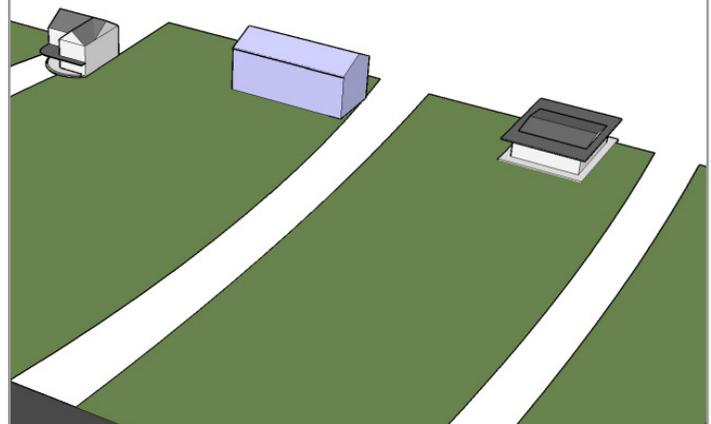
- The massing of new buildings should relate to the massing of historic buildings located along the Entrance Corridor.
- The massing of large buildings should be reduced by articulating wall surfaces, varying the roof height, changing the fenestration pattern, or creating vertical bay divisions.
- Variations in materials, textures, and colors should be employed to reduce the massing of large buildings.
- The form of new buildings should relate to the form of historic buildings along the Entrance Corridor.

Not Recommended:

- The massing of new buildings should not overwhelm adjacent buildings.
- Bulky, cumbersome, or large buildings with unvarying facades.
- The overall massing of existing buildings should not be drastically changed by new additions.



Recommended: the massing of new buildings should relate to the massing of historic buildings located along the Entrance Corridor.



Not Recommended: Bulky, cumbersome, or large buildings with unvarying facades.



G. Scale

Scale is the relative relationship of the human form to a building. It is also the relationship of the size of one building to another. Scale is primarily a function of a building's height and width, but is also derived from architectural elements. The relationship between a building's height and width provides its directional expression (square, horizontal or vertical).

1. Courthouse Historic District

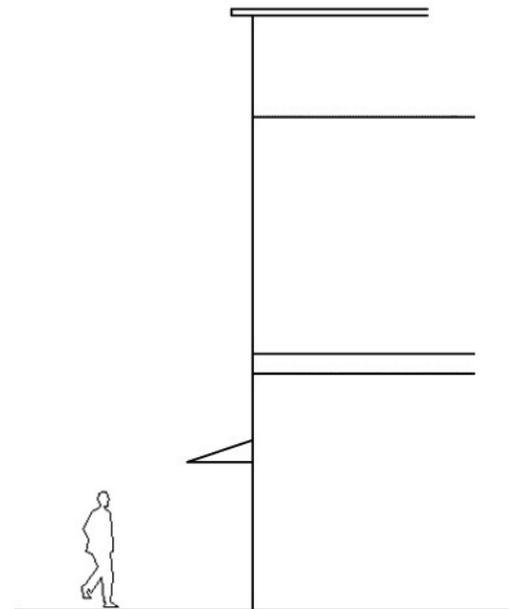
The consistency of scale in the Courthouse Historic District creates a sense of cohesion. Residential buildings in the district are between one and two stories in height. Commercial and institutional buildings are between one and two-and-a-half stories in height. The directional expression of buildings relates to its age and architectural style. For example, Colonial Revival-style buildings have a horizontal expression, while Queen Anne-style buildings have a vertical expression. Traditional architectural elements, such as front porches and storefronts, create a human sense of scale in the Courthouse Historic District.

Recommended:

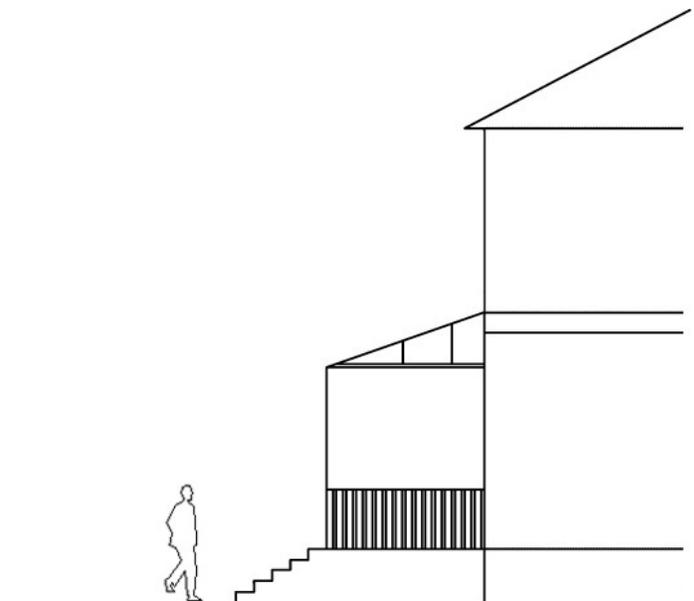
- The scale of new construction should maintain the sense of cohesion in the Courthouse Historic District.
- The height of new buildings should be compatible with the height of adjacent historic buildings.
- The directional expression of new buildings should complement the directional expression of nearby historic buildings.
- The appropriate use of scale-defining architectural elements is encouraged in new construction.

Not Recommended:

- The scale of new buildings should not overwhelm existing buildings.



A sense of scale is created by the relationship of human form to a building



A front porch helps to create a human sense of scale



2. Entrance Corridor

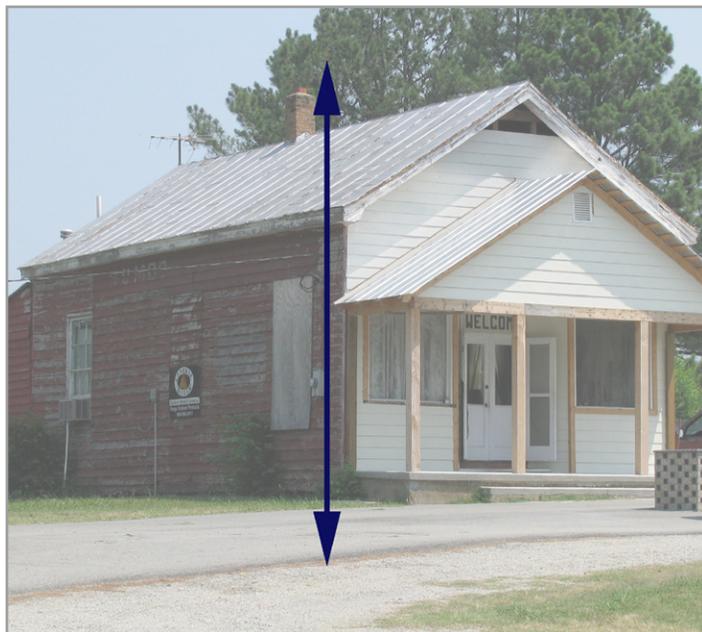
The scale of buildings along U.S. Route 60 reinforces the area's rural character. Historic buildings along the Entrance Corridor do not exceed two stories. Residences constructed in the twentieth century are typically one or one-and-a-half stories. Most residential and commercial buildings exhibit a horizontal directional expression. Traditional architectural elements, such as front porches, help create a human sense of scale along the Entrance Corridor.

Recommended:

- New construction should maintain the rural character established by the scale of historic buildings.
- The height of new buildings should be compatible with the height of historic buildings along the Entrance Corridor.
- The directional expression of new buildings should complement the directional expression of historic buildings along the corridor.
- The appropriate use of scale-defining architectural elements is encouraged in new construction.

Not Recommended:

- The scale of new buildings should not overwhelm existing buildings.



Above: a vertical directional expression
Below: a horizontal directional expression





H. Materials, Colors and Details

The materials, colors, and decorative details of historic buildings in the Courthouse District and Entrance Corridor vary widely based on use, style, and age. The range of traditional materials, colors, and details contributes to the character of the historic district.

1. Courthouse Historic District

Traditional foundation materials in the Courthouse Historic District include stone, brick and poured concrete. Traditional wall materials include stone, brick and wood. Traditional roof materials include slate, standing-seam metal and asphalt shingle. Historic color schemes vary by style, e.g. white and off-whites for Federal and Greek Revival, Earth tones for Bungalow, and bright colors for Queen Anne. Decorative elements such as shutters, trim, cornices, molding, and brickwork patterns provide visual interest.

Recommended:

- The selection of materials, colors and details for new construction should complement and be compatible with those found on nearby contributing buildings.
- New construction should employ traditional materials.
- Most buildings should employ a four-color scheme: one color for walls; one for the trim, one for the decorative details such as shutters and doors; and one for the roof.
- Modern interpretations of decorative details may be used on new buildings if they are consistent with the style of architecture.

Not Recommended:

- Synthetic siding materials (vinyl),
- Details from older styles should not be incorporated into modern designs.



Traditional building materials in the Courthouse Historic District include wood and brick



2. Entrance Corridor

Traditional foundation materials in the Entrance Corridor include stone, brick, and poured concrete. Traditional wall materials include stone, brick, and wood. Traditional roof materials include slate, standing-seam metal and asphalt shingle. Historic color schemes vary by style, e.g. white and off-whites for Federal and Greek Revival, Earth tones for Bungalow, and bright colors for Queen Anne. Decorative elements such as shutters, trim, cornices, molding, and brickwork patterns provide visual interest.



Recommended:

- The selection of materials, colors and details for new construction should complement and be compatible with those found on nearby contributing buildings.
- New construction should employ traditional materials.
- Most new buildings should employ a four-color paint scheme: one color for the walls; one for the trim, one for the decorative details such as shutters and doors; and one for the roof.
- Modern interpretations of decorative details may be used on new buildings if they are consistent with the style of architecture.

Not Recommended:

- The use of synthetic siding materials.
- The inappropriate use of details is discouraged; details from older styles should not be incorporated into modern designs.



I. Windows and Doors

The fenestration pattern, the design, proportioning, and disposition of window and door openings, play a major role in defining the character, scale, and style of a building. The installation of new windows and doors should be appropriate to the architectural style of the building. The fenestration pattern of new construction should respect the historic character of the Courthouse Historic District and Entrance Corridor.

Recommended:

- New development should respect the size, proportion, and rhythm of existing windows and entryways of adjacent buildings.
- The design of windows and doors found on historic buildings should provide guidance for the construction of new windows and doors.
- True divided-light, double-hung, wood sash windows with exterior fixed muntins are generally appropriate for residential window openings.
- Single- or double-leaf wood doors are generally appropriate for new doors.
- Where appropriate, louvered shutters should be scaled to the window opening and mounted with hinges.
- If used, storm windows or doors should not obscure the underlying windows or doors.

Not Recommended:

- Plastic, vinyl and metal windows.
- Tinted or mirrored glass.
- Windows with false muntins.
- Metal or vinyl shutters.

STOREFRONTS

The design of new commercial buildings should include storefronts. Storefronts define the character of a commercial district and create a vibrant streetscape. Historic storefronts in the Courthouse Historic District are typically transparent to allow for displays and create a welcoming appearance.

Recommended:

- Storefronts should have display windows.
- Commercial buildings should have a high ratio of window to wall at the ground level.
- New commercial buildings should base their fenestrations on the configuration of traditional storefronts.
- Window openings on the upper story of the façade should serve to unify buildings with multiple storefronts.
- If a new building has multiple shops, it should have an entryway for each business.





J. Additions

Many buildings throughout the Courthouse Historic District and Entrance Corridor include additions. Over time, property owners have adapted their buildings to accommodate modern conveniences and meet contemporary standards of living. Generally, the preservation of historic buildings is enhanced by avoiding all but minor changes to primary elevations. An addition should not compromise the building's historic character, destroy significant features or materials, or visually overpower the original building. The integrity of design, material, workmanship and feeling should be preserved.

Recommended:

- Before planning an addition, it should be determined if the desired use can be accommodated by altering the interior space of the building.
- An addition should be added to the least visible side of the building to preserve the appearance from the public right-of-way.
- New additions to historic buildings should be modern in appearance, yet complementary to the building's architectural style and form.
- Decks should be located in inconspicuous locations and screened from public view. The design, material, scale and details of new decks should be compatible with the existing building.

Not Recommended:

- The massing and scale of additions should not eclipse the existing building or neighboring buildings.
- The construction of an addition should not obscure, damage or destroy character-defining features of historically significant buildings.



Examples of additions along the Entrance Corridor. Additions to the rear or side of buildings are less conspicuous than additions to the front.



K. Accessory Structures

Accessory structures (sheds, garages and barns), often contemporaneous with the primary building, are common in the Courthouse Historic District and Entrance Corridor. The presence of these structures contributes to the rural character of the area. Some historic outbuildings mimic the architectural style, form, materials, and scale of the primary dwellings. Agricultural outbuildings, however, are vernacular and their form reflects their uses. Accessory structures are typically set to the rear of the property.

Recommended:

- Contributing accessory structures should be maintained in accordance with the guidelines for existing buildings.
- The design of new accessory structures should be complementary to the building's architectural style and form.
- Compatibility between accessory structures and primary buildings should be achieved through the use of similar roof form, materials and/or paint colors.
- New accessory structures should be located so they are not seen from a primary public right-of-way and should be screened with landscaping.
- The massing and scale of new accessory structures should not visually overwhelm the primary building.

Not Recommended:

- Contributing accessory structures should not be demolished or relocated.
- New accessory structures should not obscure views of the primary building.
- Carports in the Courthouse Historic District.





L. Mechanical Equipment and Utilities

Modern mechanical equipment and utilities including heating, ventilation and air conditioning (HVAC) systems, overhead wires, utility poles, antennae, satellite dishes and dumpsters are often retrofitted for older buildings. The placement of mechanical equipment and utilities on (or near) historic and new buildings should be as inconspicuous as possible to protect the historic character of the building and the surrounding area.

Recommended:

- To the extent possible, utility infrastructure such as mechanical units, HVAC systems, transformers and electrical meters should be concealed from the public view.
- Overhead wires and utility poles should be placed at the rear or side of a new building where they are least likely to detract from the historic streetscape.
- Landscaping should be used to conceal mechanical equipment, using appropriate designs and plant materials.
- If possible, utility wires and cables should be installed underground.

Not Recommended:

- The installation of mechanical equipment or utilities should not obscure, damage or destroy character-defining features of historically significant buildings.



A fence conceals mechanical equipment



M. Demolition

The demolition of a historically or architecturally significant building is an irreversible action that detracts from the historic character of the Courthouse Historic District and the Entrance Corridor. Demolitions erode the historic fabric of the community and compromise the integrity of this historic district. This is especially true for buildings that have been surveyed and designated as historic landmarks or contributing to the historic district.

Recommended:

- All historic buildings in the Courthouse Historic District and Entrance Corridor should be retained to the greatest extent possible.
- Prior to demolition, all feasible alternatives for rehabilitation and reuse should be carefully considered.
- In cases where the structural integrity of the building is an issue, acquire a professional structural evaluation and economic feasibility study.
- If there is no alternative to demolition, document the building in accordance with the Virginia Department of Historic Resource's *Guidelines for Conducting Cultural Resource Surveys*.
- Remove all salvageable materials from buildings awaiting demolition.

Not Recommended:

- Historic buildings that contribute to the character of the Courthouse Historic District and Entrance Corridor should not be demolished.
- Demolishing an existing building without reviewing a plan for what will replace it.

KEY QUESTIONS

Consider these key questions prior to proposing the demolition of a building:

- Will the removal of the building result in a detriment to the public interest through the loss of a demonstration of local history?
- Does the building qualify as a national, state or local historic landmark through listing in the Virginia Landmarks Register or the National Register of Historic Places?
- Does the building embody the distinctive characteristics of a type, period, style or method of construction? Is the building the work of a notable architect? Does the building embody possess high architectural or artistic value?
- Is the building associated with events that have made a significant contribution to the broad pattern of history? Is it associated with a significant person?
- Will the retention of the building protect a historically or architecturally significant place—thus enhancing the quality of life in community?
- Does the demolition of the building limit the archaeological potential of the site to yield information concerning prehistory or history?

If the answer to any of these questions is affirmative, explore options for rehabilitation and reuse.



Burleigh Hall, built in the 1820s, demolished 2008



N. Moving or Relocation

The relocation of a historic building extracts the building from its original context. This act is similar to demolition and has an equally harmful effect on the integrity of the Courthouse District and Entrance. Therefore, the relocation of historic buildings should be avoided. All feasible alternatives should be explored before relocation, when it cannot be avoided.

Requests to move a historically or architecturally significant buildings from the Courthouse Historic District and Entrance Corridor will be considered as a demolition request. Conversely, requests to relocate a building into the historic district will be treated as a new construction.

Recommended:

- All historic buildings in the Courthouse Historic District and Entrance Corridor should be retained in their original location to the greatest extent possible.
- The relocation of a building should be viewed as a measure of last resort; it should be used only if leaving the building at its present site would result in its demolition.

Not Recommended:

- Historic buildings that contribute to the character of the Courthouse Historic District and Entrance Corridor should not be relocated.
- Moving historic buildings into the Courthouse Historic District or Entrance Corridor from another location, as it will create a false sense of history.

Cumberland County





A. Secretary of the Interior's Standards for Rehabilitation

The *Secretary of the Interior's Standards for Rehabilitation* are ten basic principles created to help preserve the distinctive character of a historic building and its site, while allowing for reasonable change to meet new needs.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

For more information about the Standards for Rehabilitation, visit the Secretary of the Interior's website (<http://www.nps.gov/hps/tps/tax/rehabstandards.htm>).



B. List of Preservation Briefs

For over 25 years, Technical Preservation Services (TPS) has helped home owners, preservation professionals, organizations, and government agencies by publishing easy-to read guidance on preserving, rehabilitating and restoring historic buildings.

The following Preservation Briefs are available through the TPS website (<http://www.nps.gov/history/hps/tps/briefs/presbhom.htm>):

Preservation Briefs marked by an asterisk (*) may be more applicable to the Courthouse District and/or Entrance Corridor.

1. Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings*
2. Repointing Mortar Joints in Historic Masonry Buildings*
3. Conserving Energy in Historic Buildings*
4. Roofing for Historic Buildings*
5. The Preservation of Historic Adobe Buildings
6. Dangers of Abrasive Cleaning to Historic Buildings*
7. The Preservation of Historic Glazed Architectural Terracotta
8. Aluminum and Vinyl Siding on Historic Buildings: The Appropriateness of Substitute Materials for Resurfacing Historic Wood Frame Buildings*
9. The Repair of Historic Wooden Windows*
10. Exterior Paint Problems on Historic Woodwork*
11. Rehabilitating Historic Storefronts*
12. The Preservation of Historic Pigmented Structural Glass (Vitrolite and Carrara Glass)
13. The Repair and Thermal Upgrading of Historic Steel Windows
14. New Exterior Additions to Historic Buildings: Preservation Concerns*
15. Preservation of Historic Concrete*
16. The Use of Substitute Materials on Historic Building Exteriors*
17. Architectural Character - Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character*
18. Rehabilitating Interiors in Historic Buildings - Identifying Character-Defining Elements
19. The Repair and Replacement of Historic Wooden Shingle Roofs
20. The Preservation of Historic Barns*
21. Repairing Historic Flat Plaster - Walls and Ceilings
22. The Preservation and Repair of Historic Stucco
23. Preserving Historic Ornamental Plaster
24. Heating, Ventilating, and Cooling Historic Buildings: Problems and Recommended Approaches*



25. The Preservation of Historic Signs*
26. The Preservation and Repair of Historic Log Buildings
27. The Maintenance and Repair of Architectural Cast Iron
28. Painting Historic Interiors
29. The Repair, Replacement, and Maintenance of Historic Slate Roofs
30. The Preservation and Repair of Historic Clay Tile Roofs
31. Mothballing Historic Buildings
32. Making Historic Properties Accessible*
33. The Preservation and Repair of Historic Stained and Leaded Glass*
34. Applied Decoration for Historic Interiors: Preserving Historic Composition Ornament
35. Understanding Old Buildings: The Process of Architectural Investigation
36. Protecting Cultural Landscapes: Planning, Treatment and Management of Historic Landscapes
37. Appropriate Methods of Reducing Lead-Paint Hazards in Historic Housing*
38. Removing Graffiti from Historic Masonry*
39. Holding the Line: Controlling Unwanted Moisture in Historic Buildings*
40. Preserving Historic Ceramic Tile Floors
41. The Seismic Retrofit of Historic Buildings: Keeping Preservation in the Forefront
42. The Maintenance, Repair and Replacement of Historic Cast Stone
43. The Preparation and Use of Historic Structure Reports
44. The Use of Awnings on Historic Buildings: Repair, Replacement and New Design*
45. Preserving Historic Wooden Porches*
46. The Preservation and Reuse of Historic Gas Stations
47. Maintaining the Exterior of Small and Medium Size Historic Buildings*



C. Courthouse Historic District Inventory

NPS Form 10-900-a
(8-86)

OMB No. 1024-0018

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Cumberland Court House Historic District
Cumberland, Virginia

Section 7 Page 14

Clerk's Office.³⁷ This provided much needed consolidation of office spaces, as well as records storage. Still, county offices are housed within other buildings in the village, such as the 10th District Court Services Office that is housed in the former post office building on Anderson Highway and the sheriff's office which will be moving into the renovated Flippens Store.

Since 1795, Cumberland Court House has been the site of a post office (in 1893 the name was formally changed to "Cumberland").³⁸ No documentation has been found denoting the original post office site, but in the twentieth century the post office was housed in a variety of buildings all conveniently located near the courthouse. In the 1930s, the post office operated in the former Cumberland Bank Building, after its building along Route 60 was destroyed in a fire. Around 1950, the post office once again moved to a brick building located on Route 60 across from the courthouse and now used as offices by the 10th District Court. Around 1987, the present post office was constructed next to the former post office building.

Around the mid-twentieth century, frame and brick Cape Cod style houses began to be built along Stoney Point Road. By the late twentieth century, ranch style houses were also being constructed in the court house village. The late-twentieth-century development in Cumberland has consisted of infill residential and commercial construction that tends to locate back from the roadway rather than adjacent to it. While these buildings tend to be located on average sized parcels, their placement on the parcel reflects a more modern approach to development. Additional government buildings also were constructed in the late twentieth century including the Department of Social Services, the School Board Offices, and the Cumberland County Public Library.

CUMBERLAND COURT HOUSE HISTORIC DISTRICT INVENTORY

The following is a list of resources located within the Cumberland Court House Historic District boundaries. The resources are listed alphabetically by street and chronologically by address number. These resources have been keyed to an accompanying map using the last alphabetically and are keyed to the map using the last four digits of their VDHR resource number within the historic district (024-5025). VDHR ID numbers for resources previously surveyed are also listed within each entry along with property names where applicable.

Anderson Highway

Anderson Highway 024-5025-0084
Primary Resource Information: Road-Related (Vehicular), Style: Other, 1958

Three Virginia Department of Highways (now, Virginia Department of Transportation) right-of-way markers were noted during the current survey. These small (4"-square) concrete markers are inscribed with the initials "VDH" and have a very low (less than 2") profile above the ground. The three markers noted were found at the southeast edge of the sidewalk in front of the dwelling at 1529 Anderson Highway; at the southeast corner of the intersection of Route 60 and Fitzgerald Road in front of the dwelling at 4 Fitzgerald Road; and at the northeast edge of the sidewalk at the northeast intersection of Route 60 and Foster Road in front of the courthouse. There may be other such markers within the historic district, though they were not noted.

Individual Resource Status: Road-Related (Vehicular) (3 Objects) Non-Contributing

Anderson Highway 024-5025-0085; 44CM094
Primary Resource Information: Railroad Bed, Style: Other, ca 1883

The rail bed of the former Farmville & Powhatan Railroad is visible in many locations in the court house village. At different locations, the rail bed consists of a linear depression in the soil or of a raised linear berm. Within the district the F&PRR crossed the property of Burleigh Hall Farm and ran behind the dwellings on the southwest side of Route 60. The line continued in front of the present school property and behind the dwellings and the Baptist church now on Fitzgerald Road. The line crossed Stoney Point Road at the old Flippen warehouse, then turned to the northwest and crossed Route 60 behind the present Exxon Service Station where a depot was located. The line continued behind the former Garrett Mill and then continued northeast paralleling Route 60 as it left the village.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

**Cumberland Court House Historic District
Cumberland, Virginia**

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Individual Resource Status: **Railroad Bed**

Contributing

North side, Anderson Highway 024-5025-0003 Peters Motor Company Garage

Primary Resource Information: **Garage, Stories 1.00, Style: Other, ca 1955**

This one-story, concrete block building is covered by a front-facing gable roof of crimped metal. Masonite boards are located in the gable ends. Two paneled wooden overhead doors are located on the front. An entry door is located on the southwest side of the building near the front. Two, four-pane metal windows with brick row lock sills are located on the sides of the building. "Cumberland" is painted in large block letters across the front of the building. Another concrete block garage building with a stepped parapet front was formerly located west of the current building close to the road. This building was demolished in the 1990s.

Individual Resource Status: **Garage**

Contributing

NW side Anderson Highway 024-5025-0037; 024-0355 Garrett Brothers Roller Mill (demolished)

Primary Resource Information: **Mill, Stories 2.50, Style: Other, 1911**

The mill has been demolished. Debris from the demolition is still being removed at the time of this survey. The basement level of the mill is being filled with some of the debris and the site is being cleared of trees and brush. The associated warehouse, known as the "tomato factory," has also been demolished. Both sites are considered contributing to the historic district for their potential as archaeological sites.

Individual Resource Status: **Mill and Warehouse (Site)**

Contributing

NW side Anderson Highway 024-5025-0075; 024-0359 Cole-Criss House

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, ca 1900**

This two-story, single pile, frame dwelling is covered by a side-facing gable roof of slate shingles with shaped ends. The house is clad with weatherboards and is set on a brick pier foundation. The three bay front holds two door openings in the center and north bays and a 2/2 wood sash window in the south bay. An interior brick chimney is located on the south end of the roof ridge. The ghost of an exterior brick chimney can be seen on the north end of the house. Also, the ghost of the hipped roof of the now deteriorated front porch can be seen across the front of the house. The house is vacant and has been for several years.

Individual Resource Status: **Single Dwelling**

Contributing

1354-1356 Anderson Highway 024-5025-0083; 024-0121 Woodlawn

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Mixed (more than 3 styles from different periods), ca 1800**

The earliest section of this dwelling, which was constructed in phases, may date to about 1800. The two northern bays are set on a brick foundation laid in a Flemish bond pattern. The house was modified by later additions and alterations to its present Victorian-era appearance. The two-story, three bay, frame dwelling is covered by a side facing gable roof of standing seam metal. The cross gable that is centrally located on the front of the house features shaped wooden shingles and a small scale Palladian motif window. The centrally located entrance holds a Victorian-era door with a transom above. The entrance is covered by a low sloped shed roof that is supported by square posts with decorative brackets. The entrance is flanked by 2/2 wood sash windows with aedicule surrounds. Two interior chimneys are located on either end of the house. The wooden frieze features half circles that have punched holes in the center of them. The house is clad with weatherboards. A one-story gable ell is located on the rear of the house. One-story shed-roofed additions are located to either side of the ell. The ell is set on a brick pier foundation with concrete block infill.

Individual Resource Status: **Single Dwelling**

Contributing

Individual Resource Status: **Kitchen**

Contributing

Individual Resource Status: **Cemetery**

Contributing

Individual Resource Status: **Shed**

Non-Contributing

Individual Resource Status: **Shed**

Non-Contributing

1365 Anderson Highway 024-5025-0082; 024-0361 Larkin Garrett House

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Queen Anne, 1903**

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This two-story, frame dwelling is covered by a hipped roof of slate shingles. The house is clad with weatherboards and is set on a brick foundation. The three bay front features a centrally located double door entrance that is flanked by 1/1 wood sash windows. The one-story porch is covered by a slate-clad roof that wraps around the corners of the house. Slender Doric columns support the porch roof. A one-bay, gabled balcony is located in the center bay on the second floor level. The side walls of the balcony are clad with wooden shingles.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Servant Quarters	Contributing
<i>Individual Resource Status:</i> Smoke/Meat House	Contributing
<i>Individual Resource Status:</i> Pump House	Contributing
<i>Individual Resource Status:</i> Chicken House	Contributing
<i>Individual Resource Status:</i> Barn	Contributing
<i>Individual Resource Status:</i> Garage	Contributing
<i>Individual Resource Status:</i> Workshop	Non-Contributing

1387 Anderson Highway 024-5025-0081

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1955**

This is a one-story, brick ranch style dwelling that is covered by a series of hipped roofs. A large brick chimney is located at the center of the roof ridge. Vertical wood siding also sheathed part of the dwelling. Windows are 2/2 wood horizontal, 6/6 wood sash, and large multi-pane windows.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Pool/Swimming Pool	Non-Contributing

1388 Anderson Highway 024-5025-0080

Garrett-Nuckols House

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Colonial Revival, 1908**

This two-story brick dwelling is covered by a side-facing gable roof of asphalt shingles. The three bay front features a centrally located entrance portico with Doric columns. The entrance is flanked on the southwest by an exterior brick chimney. The shed-roofed brick addition on the northeast side also holds an entrance portico that leads into a separate section of the house. There is also a frame shed-roofed addition on the southwest. Several additions have been made to the rear of the dwelling. A one-story brick gable wing has been attached to the house on the north. A two-section, two-story frame ell has been added to the rear and is surrounded by a one-story addition. A wooden deck is located at the back of this addition.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Workshop	Contributing
<i>Individual Resource Status:</i> Shed	Contributing
<i>Individual Resource Status:</i> Carport	Non-Contributing

1408 Anderson Highway 024-5025-0072; 024-0022

Robert Garrett House

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Colonial Revival, 1922**

This grand, two-story frame dwelling is covered by a hipped roof of slate shingles. The two-story projecting portico centrally located on the front is covered by a front gable that is supported by paired columns that are set on brick bases. The house has been clad with vinyl siding. The windows are 1/1 wood sash with the upper pane distinguished by small square panes around the edges. The one-story porch wraps around the front and sides of the house and is covered by a hipped roof that is supported by masonry columns set on brick piers. The porch roof, which is clad with standing seam metal, has curved corners. The entry features a double leaf door that is Craftsman in style with transom and sidelights. The house is set on a concrete foundation. Two brick chimneys with corbelled caps are located on the interior portion of the roof. Small shed-roofed additions have been made to the rear of the house. One of the additions is now enclosed with jalousie windows and originally may have been an open porch.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Barn	Contributing
<i>Individual Resource Status:</i> Shed	Contributing

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1413 Anderson Highway 024-5025-0071

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1969**

This is a one-story, brick ranch style dwelling that is covered by side-facing gable roofs covered with asphalt shingles. Windows are 1/1 and 6/6 wood sashes and a multi-paned plate glass window. The house is composed of three sections that are each covered by a gable roof. The section on the north is a garage and features two overhead doors on the north end.

<i>Individual Resource Status:</i> Single Dwelling	Non-Contributing
<i>Individual Resource Status:</i> Workshop	Non-Contributing
<i>Individual Resource Status:</i> Pool/Swimming Pool	Non-Contributing
<i>Individual Resource Status:</i> Pool House	Non-Contributing

1418 Anderson Highway 024-5025-0073

Dollar General Store

Primary Resource Information: **Commercial Building, Stories 1.00, Style: Other, 2002**

This one-story masonry commercial building is covered by a low-pitched gable roof. The front of the building features a brick veneer with store front windows. The front gable end holds an illuminated sign that carries the store's name. The gable projects over the front entry. The sides of the building are clad with profiled metal siding.

<i>Individual Resource Status:</i> Commercial Building	Non-Contributing
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1422 Anderson Highway 024-5025-0074

Central Virginia Bank

Primary Resource Information: **Bank, Stories 1.50, Style: Other, 1998**

This one-and-a-half-story brick bank building is covered by intersecting gable roofs. The entrance is centrally located on the five bay front and is covered by a hipped roof that is supported by sets of columns. The entrance bay is enclosed with plate glass windows. The entrance is flanked by two window openings. A gable wing projects from the south end of the building and holds two drive-through teller lanes.

<i>Individual Resource Status:</i> Bank	Non-Contributing
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1425 Anderson Highway 024-5025-0070; 024-0360

Amos-Brown House

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Late 19th and Early 20th Century American Movement, 1900**

This two-story frame dwelling is covered by a side-facing roof of crimped metal. The entrance is centrally located on the three bay front. The entrance is flanked by 6/6 wood sash windows. The one-story porch is covered by a hipped roof of standing seam metal, which is supported by turned wooden posts with decorative brackets. While the house has been clad with vinyl, the wooden door and window surrounds have been left uncovered. The foundation of the house has been modified with concrete blocks. The exterior end chimneys feature a stone base with brick stacks. A two-story gable ell is located at the rear of the house. This section of the house also is clad with vinyl and features shed-roofed additions on the north and south sides. A screen porch is located on the south side.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Shed	Contributing
<i>Individual Resource Status:</i> Shed	Contributing
<i>Individual Resource Status:</i> Cemetery	Contributing

1429 Anderson Highway 024-5025-0069

C.D. Brown & Sons

Primary Resource Information: **Commercial Building, Stories 1.00, Style: Other, ca 1950**

This one-story, concrete block building is covered by a flat roof with a parapet edge that has metal coping. The three bay front holds a single leaf entrance door that is flanked on the southwest by two windows of fixed panes. Windows on the side are located high on the wall and are two-panes. The taller one-story section on the northeast side of the building features a concrete loading dock with an overhead door. This section is also of concrete block construction with a flat roof.

<i>Individual Resource Status:</i> Commercial Building	Contributing
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1433 Anderson Highway 024-5025-0068

Cumberland Farm & Auto Parts

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Primary Resource Information: **Commercial Building, Stories 1.00, Style: Other, 1948**

This one-story masonry commercial building has a recessed entry that is covered by an extension of the building's flat roof. Windows are metal, multi-paned casements. The one-story addition on the rear is covered by a flat roof with parapet side walls. Another one-story addition constructed at the rear projects on the southwest side and has a loading dock on the front (northwest).

Individual Resource Status: **Commercial Building** **Contributing**
Individual Resource Status: **Shed** **Non-Contributing**

1443 Anderson Highway 024-5025-0067 Shell Gas Station

Primary Resource Information: **Gas Station, Stories 1.50, Style: Other, 1989**

This gas station was built in 1989 but significant alterations were made to it in 1995. The station also functions as a large convenience store. The store is a one-and-a-half-story, frame building that is covered by a side-facing gable roof of standing seam metal. Four front gable dormers are located across the front of the roof. A one-story, hipped-roof porch wraps around the sides and front of the building. The roof is supported by square wooden posts with a wooden railing between them. Windows are 6/6 wood sash. The building is clad with vinyl siding. Gas pumps are located on two concrete islands located in the parking area. The islands are covered by wide metal canopies that have metal supports.

Individual Resource Status: **Gas Station** **Non-Contributing**

1444 Anderson Highway 024-5025-0078; 024-0356 Brown House

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Late 19th and Early 20th Century American Movement, 1910**

This two-story, three bay, single pile, frame dwelling is covered by a side-facing gable roof of metal with a cross gable centered on the front. The centrally located entrance is covered by the shed roof of the one-story, four-bay porch. The porch has been enclosed with screen. Two interior chimneys are located along the roof ridge. Several one-story, shed-roofed additions have been made to the rear of the house. These additions are in poor repair. Windows are 2/2 wood sash and the house is clad with weatherboards. The house is set on concrete piers and has a boxed eave. The house is currently vacant.

Individual Resource Status: **Single Dwelling** **Contributing**
Individual Resource Status: **Shed** **Contributing**
Individual Resource Status: **Shed** **Contributing**

1446 Anderson Highway 024-5025-0077; 024-0357 Brown House

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1920**

This one-story, three bay, frame dwelling is covered by a side-facing gable roof of crimped metal. The one-story, three bay front porch is covered by a front facing gable roof that is supported by plain wooden posts. Windows are 6/6 wood sash. The house is clad with vinyl siding. Material renovations were made to the dwelling in the late 1990s.

Individual Resource Status: **Single Dwelling** **Contributing**

1448 Anderson Highway 024-5025-0076; 024-0358 Trent House

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1936**

This one-story, frame shed is covered by a side-facing gable roof with a brick chimney centrally located along the roof ridge. A shed roof, supported by metal trellis-type posts covers the centrally located entrance, which is flanked by 1/1 vinyl sash windows. A one-story ell has been added to the rear of the dwelling with a shed-roofed addition and a wooden deck on the south side. The house is clad with vinyl and is set on a foundation of brick piers with concrete infill.

Individual Resource Status: **Single Dwelling** **Contributing**
Individual Resource Status: **Shed** **Non-Contributing**
Individual Resource Status: **Shed** **Non-Contributing**

1449 Anderson Highway 024-5025-0066 Lee Roy's Barber Shop and Beauty Salon

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Primary Resource Information: **Commercial Building, Stories 1.00, Style: Other, 1968**

This one-story building is of masonry construction and is covered by a front-facing gable roof of asphalt shingles. The facade is clad with a veneer of brick and features two entrance doors, one to the barber shop and one to the beauty salon, and two large fixed windows. The sides and rear of the building are painted concrete block. A brick flue is centrally located along the roof ridge.

Individual Resource Status: **Commercial Building** **Non-Contributing**

1450 Anderson Highway 024-5025-0079

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Late 19th and Early 20th Century American Movement, ca1917**

This two-story, three bay, single pile, frame dwelling is covered by a side-facing gable roof that is covered with slate shingles with shaped ends. The double-height entry portico that is centered on the facade is covered by a front-facing gable roof that is supported by Doric columns. Windows are 2/2 wood sash and there are interior chimneys on each end of the house. The house is clad with weatherboards, is set on a brick foundation, and features cornerboards, a wide frieze, and gable end returns. A one-and-a-half-story frame ell is located on the rear of the house. One-story shed-roofed additions are located on the west and north ends of the ell. The rear sections are clad with weatherboards and are set on brick foundations. The gable ell has a slate covered roof, while the shed roofs are clad with metal. A tall brick flue is located on the rear, as well. The current owner stated that he had remodeled the house in 1958, although it appears that few exterior material changes were made at that time.

Individual Resource Status: **Single Dwelling** **Contributing**
Individual Resource Status: **Shed** **Contributing**

1451 Anderson Highway 024-5025-0065; 024-0354 Garrett's Grocery Store

Primary Resource Information: **Commercial Building, Stories 1.50, Style: Commercial Style, 1910**

This 1 1/2-story frame commercial building is clad with weatherboards and is set on a concrete block and stone pier foundation. The front-facing gable roof is clad with corrugated metal and a brick chimney is located along the roof ridge. The centrally located front entrance consists of a pair of wood frame and glass doors that are flanked by triple sets of one-over-one wood sash windows. The front facade features a parapet wall on the front end of the gable roof. The three-bay porch features square posts, which support the parapet, and a wooden railing.

Individual Resource Status: **Commercial Building** **Contributing**

1463 Anderson Highway 024-5025-0064

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1917**

This one-story, frame dwelling is covered by a side-facing gable roof of crimped metal, is clad with weatherboard, and sits on a foundation of stacked stone and concrete block. The three-bay front features a centrally located entrance that is flanked by 6/6 wood sash windows. A brick chimney is centrally located along the roof ridge. The one-story, three-bay front porch is covered by a shed roof that is supported by plain square columns. The one-story shed-roofed addition on the rear is clad with weatherboards and is set on a foundation of stone piers with concrete block infill. A second brick chimney is located in this section of the dwelling.

Individual Resource Status: **Single Dwelling** **Contributing**
Individual Resource Status: **Chicken House** **Contributing**

1465 Anderson Highway 024-5025-0060 Cumberland Restaurant

Primary Resource Information: **Restaurant, Stories 1.00, Style: Other, ca 1920**

This one-story, concrete block building is covered by a gable roof of asphalt shingles. The building is clad on the front and partly on the sides with a brick veneer. The remainder of the building is clad with weatherboards. The seven bay front holds a centrally located enclosed entrance bay. Windows are fixed glass. The brickwork indicates that some openings have been covered with brick (windows and doors), so that the current appearance of the building is not its original appearance. A tall neon sign with the restaurant's name projects up from the entrance bay. The present sign was installed in June 2005 and replaced a similar sign that had been installed in 1954. The former sign read "24 Hour Restaurant," while the present sign reads "Cumberland Restaurant." A two-bay section on the east end of the building is covered

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by a flat roof. This section has two overhead doors on the front and was formerly used as a garage. This section was added in the late 1970s.

Individual Resource Status: **Restaurant**

Contributing

Individual Resource Status: **Other**

Non-Contributing

1468 Anderson Highway 024-5025-0059

Strings & Things

Primary Resource Information: **Commercial Building, Stories 2.00, Style: Other, 1985**

This two-story, frame commercial building is covered by a gambrel roof of asphalt shingles and is clad with weatherboards. The building is set on a concrete pad and a paved parking area is located in front of the building. The four bay front of the building features an entrance door in the east and west end bays. One-over-one wood sash windows are located in the other two bays. The building is set on a concrete block foundation.

Individual Resource Status: **Commercial Building**

Non-Contributing

1469 Anderson Highway 024-5025-0061

Primary Resource Information: **Office, Stories 1.50, Style: Other, ca 1950**

This resource is a one-and-a-half-story, brick building that is covered by a front-facing gable roof of standing seam metal. A gable-roofed entry porch is located at the center of the three-bay-wide front. Windows are 2/2 wood sashes. A one-story shed-roofed addition is located at the rear of the building. A separate entrance to this section is located on the southwestern end. Slider-type windows are present in the addition. The building is currently vacant, although signage indicates that most recently this was a dentist's office.

Individual Resource Status: **Office**

Contributing

1470 Anderson Highway 024-5025-0058; 024-0202

Masonic Lodge #283

Primary Resource Information: **Commercial Building, Stories 2.00, Style: Commercial Style, ca 1903**

This two-story frame building is covered by a gable roof of asphalt shingles. The gable is concealed behind the tall parapet wall on the front of the building. The building is set on a pier foundation that is concealed by pressed metal skirting. The building is clad with weatherboards, has a wide frieze board, and a boxes eave on the side elevations. The one-story, three-bay porch is covered by a shed roof that is supported by square posts. The five-bay-wide features a centrally located entrance flanked by two 6/6 wood sash windows. Exterior flues are located on the east and west sides of the building. The construction date is estimated from the establishment date of the lodge and from the similarity of this building to other early twentieth century commercial buildings that exist or existed in the village.

Individual Resource Status: **Commercial Building**

Contributing

1473 Anderson Highway 024-5025-0057

Exxon Gas Station

Primary Resource Information: **Commercial Building, Stories 1.00, Style: Moderne, 1955**

This modern service station consists of a concrete block building that houses the office, two garage bays, and restrooms. The office area is encircled by plate glass windows and the garage bays are enclosed behind overhead doors. The building is covered by a flat roof. A freestanding metal canopy covers the two gas pumps that are secured on concrete islands.

Individual Resource Status: **Commercial Building**

Contributing

1474 A/B Anderson Highway 024-5025-0056

Danby's Garage

Primary Resource Information: **Commercial Building, Stories 2.00, Style: Other, 1940**

This two-story, five-bay-wide concrete block building is covered by a shed roof with a parapet wall with terra cotta coping around the front and sides. The facade consists of fixed plate glass windows and entrance doors on the first floor level. There are two separate stores in the building, each with its own entrance. The second floor level holds 12-pane metal windows. Stucco has been applied to the facade, while the sides and rear are painted concrete block. The one-story concrete block rear addition is covered by a long sloping shed roof with stepped parapet side walls.

Individual Resource Status: **Commercial Building**

Contributing

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1481 Anderson Highway 024-5025-0063; 024-0200 Godsey's Store

Primary Resource Information: Store, Stories 1.00, Style: Commercial Style, 1939

The original portion of this building is the one-story, brick section at the front. The brick is now painted and the side windows have been boarded, but the building retains much of its original appearance with a stepped brick parapet front wall and storefront windows. This section is covered by a front-facing gable roof of standing seam metal. Two brick chimney flues are also located on this section. A shed roof projects from the front of the building, creating a one-story, five-bay covered entrance porch. The two-story concrete block addition on the rear of the brick section features stepped parapet side walls with terra cotta coping. The window openings of this section have also been boarded over. Behind the two-story addition is a one-story addition that also is of concrete block construction with stepped parapet side walls. A pair of sliding doors is located on the northeast side of this addition. These areas are for storage.

Individual Resource Status: Store

Contributing

1483 Anderson Highway 024-5025-0062; 024-0201 Cumberland Drugstore

Primary Resource Information: Store, Stories 1.00, Style: Commercial Style, 1939

This one-story, brick building is covered by a front-facing gable roof of standing seam metal. Two tall brick chimney flues are located on the interior southeastern side of the roof. A stepped parapet front wall conceals the gable from the street. The building consists of two distinct parts: the storefront portion that served as a drugstore and the southwestern three bays, which served as a doctor's office. The storefront features a centrally located entrance bay that is flanked by windows of large fixed panes of glass. There are two entrances off of this bay, each leading into a different interior section of the building, one to the left and one to the right. The front entrance is protected by a mansard roof that is covered with asphalt shingles and is supported by metal posts. The porch roof projects over the sidewalk out front. The three bay section features a centrally located entrance that is flanked by 1/1 wood sash windows. A one-story frame addition has been constructed on the northeast side of the building that connects it to the adjacent building. The addition is clad with vertical board siding and is covered by a metal-clad shed roof.

Individual Resource Status: Store

Contributing

1485 Anderson Highway 024-5025-0054 Verizon Office Building

Primary Resource Information: Office Building, Stories 1.00, Style: Other, 1950

This is a one-story building that is clad with vinyl siding, is covered by a side-facing gable roof of modern standing seam metal, and is set on a concrete foundation. The three bay front features a single-leaf entrance door with a four-pane transom above it and a wooden surround in the northeasternmost bay. The center and southwestern bay hold wood sash windows with 9/9 panes of wire glass. The one-story rear addition stretches across the width of the building. It also is clad with vinyl siding and is set on a concrete block foundation. The shed roof is covered with modern standing seam metal.

Individual Resource Status: Office Building

Non-Contributing

1487 A Anderson Highway 024-5025-0034; 024-0294 Lookout Tower

Primary Resource Information: Other, Style: None Listed, ca 1930

This lookout tower is a metal truss tower with an enclosed viewing booth at the top (approximately 75' tall). Metal ladder stairs extend from the ground to the top. Lightening rods extend from the viewing booth. The tower is no longer used as a fire lookout, but is used as communications tower by local government.

Individual Resource Status: Other

Contributing

1487 Anderson Highway 24-5025-0053 Former Cumberland Post Office

Primary Resource Information: Post Office, Stories 1.00, Style: Other, 1955

This one-story building is of masonry (concrete block) construction and is covered by a front-facing gable roof. The front of the building is clad with a brick veneer while the sides and rear are painted concrete block. The roof is covered with asphalt shingles. The three bay front features a centrally located entrance that has a wooden pediment surround. Wooden 1/1 sash windows with soldier course brick lintels and row lock sills flank the entrance. The building is four bays deep. A slightly shorter one-story addition to the rear is also of concrete block

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and is covered by a shed roof covered with crimped metal. Beside this addition is another addition that is clad with T-111 siding and is covered by a metal-clad shed roof. Both additions are set on poured concrete foundations.

Individual Resource Status: **Post Office** **Contributing**
1489 Anderson Highway **024-5025-0033** **Cumberland Post Office**

Primary Resource Information: **Post Office, Stories 1.00, Style: Other, 1987**

The Cumberland Post Office is a one-story, brick building that is covered by a front-facing gable roof of asphalt shingles. It features a storefront facade with plate glass windows and glass entrance door. The building is set on a concrete pad.

Individual Resource Status: **Post Office** **Non-Contributing**

1492 Anderson Highway **024-5025-0038** **Former Flippen's Store**

Primary Resource Information: **Store, Stories 1.00, Style: Commercial Style, 1958**

This one-story store is of masonry construction (concrete block) with a brick veneer on the front. It is covered by a slightly sloping roof with parapet front and sides that have terra cotta coping along the top. The front is six bays wide with large, storefront window openings. At present, these openings are boarded with plywood. "Flippen's Store Inc." is painted on a concrete panel on the front of the building. The front entry consists of double, plate glass doors with a transom above. The store is banked into the hill on the southeast side. Concrete buttresses are located along the sides of the building. An overhead door is located on the lower level on the rear at a delivery area. At present, the building is being renovated by the county for use as a sheriff's office.

Individual Resource Status: **Store** **Non-Contributing**

1496 Anderson Highway **024-5025-0039** **BB&T Bank**

Primary Resource Information: **Bank, Stories 1.00, Style: Colonial Revival, 1966**

This one-story, brick bank building is covered by a hipped-roof of asphalt shingles with a three-bay-wide, projecting gable entrance bay centered on the front facade. Two drive-through teller windows are located on the southwest side of the building and are sheltered by a hipped-roof porte cochere. Windows are 9/9 wood sashes with jack arches above and recessed wooden panels below. A brick flue is located on the rear interior of the roof.

Individual Resource Status: **Bank** **Non-Contributing**

1508 Anderson Highway **024-5025-0041**

Primary Resource Information: **Single Dwelling, Stories 1.50, Style: Other, 1999**

This one-and-a-half-story, brick dwelling is covered by a side-facing gable roof of asphalt shingle with three front-facing gable dormers. The one-story, 12-bay porch wraps around the front of the dwelling and is supported by round columns. The porch is covered by a hipped roof. The five-bay front features a centrally located entrance with double doors. Windows are 6/6 vinyl sash. A single interior brick chimney is located on the rear interior of the roof. One-story, gable wings project to the front on either side of the dwelling. The wing on the southwest side holds a two-car garage that is accessed from the southwest. From these wings, one-story gable ells project to the rear of the dwelling.

Individual Resource Status: **Single Dwelling** **Non-Contributing**
Individual Resource Status: **Shed** **Contributing**
Individual Resource Status: **Shed** **Contributing**

1522 Anderson Highway **024-5025-0025; 024-0353** **Carpenter House**

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Late 19th and Early 20th Century American Movement, 1903**

This two-story, three-bay-wide vernacular frame dwelling is covered by a side-facing gable roof of standing seam metal and is clad with weatherboards. The facade features a centrally located entrance that is flanked by sidelights and is covered by a hipped roof with metal supports. A centrally located front-gable dormer has shaped shingles in the gable end. Windows are 2/2 wood sashes. The

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house is set on a foundation of brick piers and stacked stone. A two-story gable ell is located at the rear of the house. A one-story gable-roofed addition is located at the northwest end of the ell. A wooden deck and porch entry are located on the southwest side of the house.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Kitchen	Contributing
<i>Individual Resource Status:</i> Shed	Contributing
<i>Individual Resource Status:</i> Carport	Non-Contributing
<i>Individual Resource Status:</i> Shed	Non-Contributing

1524 Anderson Highway 024-5025-0024

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1967**

This one-story, brick ranch-style dwelling is covered by a side-facing gable roof of asphalt shingle. The four-bay-wide front holds paired two-over-two horizontally divided windows, a picture window, and an entrance that is accessed by a concrete stoop. The northeast end of the dwelling consists of an open-sided porch that is raised on a concrete foundation and a one-bay garage. A wooden deck is located on the rear of the dwelling.

<i>Individual Resource Status:</i> Single Dwelling	Non-Contributing
<i>Individual Resource Status:</i> Garage	Non-Contributing

1527 Anderson Highway 024-5025-0018

Godsey House

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1953**

This one-story, stucco-clad dwelling is covered by a side-facing gable roof of asphalt shingles. The three-bay front features a centrally located entrance with a concrete stoop that is covered by a cantilevered gable roof. A one-bay-side wing, which sits back from the front plane of the house, is located on the west end. A brick chimney is centrally located on the roof ridge line. Windows are double-pane slider types with brick row lock sills. A one-story gable roofed addition is located on the southwest corner of the house and wraps around the rear of the house. A

secondary entrance is located at the back of this wing.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Garage	Contributing
<i>Individual Resource Status:</i> Shed	Non-Contributing
<i>Individual Resource Status:</i> Carport	Non-Contributing

1529 Anderson Highway 024-5025-0017; 024-0351

Hobson-Carter House

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Late 19th and Early 20th Century American Movement, 1910**

This two-story, three-bay-wide frame dwelling is clad with weatherboards and is covered by a side-facing gable roof with gable end returns, a wide frieze board, and a centrally located front-facing gable dormer. The one-story, five-bay porch wraps around the front and northeast side of the house. The hipped roof of the porch is supported by slender wooden columns. The porch is set on a brick foundation. The centrally located entrance features a two-light transom above and sidelights with wooden panels below. The original door has been replaced. The house is set on a brick pier foundation with brick infill. Windows are large two-over-two wood sashes.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Shed	Contributing
<i>Individual Resource Status:</i> Shed	Contributing
<i>Individual Resource Status:</i> Smoke/Meat House	Contributing
<i>Individual Resource Status:</i> Garage	Contributing
<i>Individual Resource Status:</i> Well	Contributing

1530 Anderson Highway 024-5025-0023; 024-0352

Gray-Carter House

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Late 19th and Early 20th Century American Movement, 1903**

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This two-story, frame dwelling features a gable front and side wing covered by intersecting gable roofs of standing seam metal. The house is raised on a concrete block foundation and is clad with vinyl siding. Windows are 1/1 aluminum sashes. The one-story, five-bay porch wraps around the front of the house and is covered by a hipped roof that is supported by wooden columns. The entrance features original paneled, double-leaf doors with louvered exterior shutter doors. Several additions have been made to the rear of the dwelling. A two-story gable ell is located on the west corner of the house, while a one-story, shed-roofed addition is located on the north corner. A small, one-story porch is centrally located on the rear and holds a secondary entrance.

Individual Resource Status: **Single Dwelling** **Contributing**

1539 Anderson Highway 024-5025-0016 Cumberland County Public Library

Primary Resource Information: **Library, Stories 1.00, Style: Other, 1985**

The public library is a one-story brick building with a gable front and side wing configuration. The intersecting gable roofs are covered with asphalt shingles and have weatherboard in the gable ends. Windows are 6/9 wood sashes. The entrance is set at a 45 degree angle at the intersection of the two wings and is covered by a pedimented gable roof that is supported by four columns. A full-width gable ell has been constructed across the rear of the library. A secondary entrance is located at the center of the ell on the rear.

Individual Resource Status: **Library** **Non-Contributing**

1542 Anderson Highway 024-5025-0015; 024-0023 Center Presbyterian Church and Cemetery

Primary Resource Information: **Church, Stories 1.00, Style: Greek Revival, 1852**

This a longitudinal plan Greek Revival brick church. It features a recessed entry with Doric columns in antis and an entry door to either side. The side windows are paired with 6-light fixed windows above 6/6 double-hung sash at the first floor level. The entire window grouping exists within a Greek Revival window surround with bull's eye corner blocks. The mullion and exterior casing are beaded with an architrave surrounds. The window at the front above the entry area is also tripartite with double-hung 4/4 sash separated by a central 8/8, in the same type of surround as the side window groupings. Some repointing of the brick around the front window openings was noted. The front facing gable roof is covered with Slate Shingles. The pedimented gable front features brick in the tympanum. The brick walls are laid in a running bond with very small joints between them. The side doors within the recessed porch lead to the interior balcony. The double-leaf entry is flanked by multi-light sidelights and a Greek Revival-style architrave surrounding. The wooden columns in antis are set on masonry pedestals. Two exterior brick chimney flues are located at the rear of the building. The windows have wooden sills.

Individual Resource Status: **Church** **Contributing**

Individual Resource Status: **Cemetery** **Contributing**

1548-1550 Anderson Highway 024-5025-0014 Cumberland County Department of Social Services

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, ca 1987**

This one-story ranch-style dwelling, now used as an office, is clad with brick and is covered by a side-facing gable roof of asphalt shingle. The centrally located entrance is covered by a projecting gable roof with metal supports. A wooden access ramp has been constructed on the front. Windows are 6/6 wooden sash.

Individual Resource Status: **Single Dwelling** **Non-Contributing**

Individual Resource Status: **Office/Office Bldg.** **Non-Contributing**

Individual Resource Status: **Trailer** **Non-Contributing**

1560 Anderson Highway 024-5025-0013

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1966**

This resource is a one-story, three-bay wide brick ranch-style house covered by a side-facing gable roof of asphalt shingle. Exterior brick chimneys are located on each end of the house. Windows are 1/1 wood sash and a picture window is located on the front. The centrally located entrance is accessed by a set of concrete steps. A one story gable addition and a one-story shed-roofed addition have been built onto the rear of the dwelling. The additions are clad with stained weatherboard. A wooden deck has been built at the northwest corner (rear) of the dwelling.

Individual Resource Status: **Single Dwelling** **Non-Contributing**

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<i>Individual Resource Status:</i> Shed	Non-Contributing
<i>Individual Resource Status:</i> Shed	Non-Contributing
<i>Individual Resource Status:</i> Carport	Non-Contributing

1561 Anderson Highway 024-5025-0012; 024-0349 Pocohontas Farm

Primary Resource Information: **Single Dwelling, Stories 2.50, Style: Late 19th and Early 20th Century American Movement, 1905**
This two-and-a-half-story frame dwelling is a gable front and side wing configuration. The house is clad with beaded weatherboards and is covered by intersecting gable roofs. The front gable wing is embellished with shaped shingles in the gable end. The front porch wraps around the projecting gable wing and side wing and features paired and single Ionic columns with a railing and turned balusters between them. The entrance features an elaborately carved double-leaf door with a two-light transom above. Windows are large 2/2 wooden sashes. Other details include cornerboards, a wide frieze board, and cutout work in the vent opens on the side of the house. A bay window is located on the northeast end of the house. The dwelling is set on a high foundation of concrete.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Corncrib	Contributing
<i>Individual Resource Status:</i> Smoke/Meat House	Contributing
<i>Individual Resource Status:</i> Workshop	Contributing
<i>Individual Resource Status:</i> Well	Contributing
<i>Individual Resource Status:</i> Milk House	Contributing

1575 Anderson Highway 024-5025-0011

Primary Resource Information: **Single Dwelling, Stories 1.50, Style: Other, 1953**
This one-and-a-half-story, three-bay dwelling is covered by a gable roof and sits on a concrete block foundation. The rectangular house is set with its long side parallel with the main road. Entry is through the west end of the house. The frame dwelling is clad with asbestos shingle siding. Windows are wooden sashes with three vertical panes over one. The chimney is missing. A one-room shed-roofed addition is located on the rear southeast corner of the dwelling.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Shed	Contributing
<i>Individual Resource Status:</i> Shed	Non-Contributing

1576 Anderson Highway 024-5025-0006

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1997**
This one-story, frame dwelling is set on a raised concrete foundation, is clad with weatherboards, and is covered by a side-facing gable roof of crimped metal. A large exterior stone chimney is located on the northeast end of the house. The full-width front porch is covered by a metal shed roof that is supported by square wooden posts with balusters between them. The porch is set on tall concrete piers. Windows are 6/6 paired sashes. The one-story rear gable ell features identical materials.

<i>Individual Resource Status:</i> Single Dwelling	Non-Contributing
<i>Individual Resource Status:</i> Shed	Non-Contributing

1577 Anderson Highway 024-5025-0010

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 2003**
This resource is a one-story, frame, vinyl clad dwelling set on a high concrete foundation with imitation stone facing. It is covered by an asphalt-shingle clad side-facing gable roof with a front-gable dormer. Windows are 6/6 vinyl sashes that are paired and single on the 5 bay front. A wooden deck is located on the back of the house, which gives access to a secondary entrance there.

<i>Individual Resource Status:</i> Single Dwelling	Non-Contributing
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1580 Anderson Highway 024-5025-0005

Primary Resource Information: **Single Dwelling, Stories 1.50, Style: Other, 1956**

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This one-and-a-half-story, frame dwelling is clad with weatherboards and is covered by a side-facing gable roof of asphalt shingles. The house is set on a concrete foundation. The three bay front features a centrally located entrance that is framed by fluted pilasters. The northeastern bay is set back from the front plane of the house. A single brick chimney is centrally located on the roof ridge. Windows are 8/8 vinyl replacement sash. A wooden deck has been added to the rear.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Shed	Non-Contributing
<i>Individual Resource Status:</i> Shed	Non-Contributing
<i>Individual Resource Status:</i> Carport	Non-Contributing

1583 Anderson Highway 024-5025-0007; 024-0346 Restover

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Late 19th and Early 20th Century American Movement, 1910**

This two-story frame dwelling is clad with weatherboard on the front and is covered by a side-facing gable roof of standing seam metal. The three-bay front appears to have been built in stages with the two northernmost bays as the original; a break in the weatherboard indicates where the southern bay was added. A brick chimney is located along the roof ridge. The centrally located entrance features a transom above and is flanked by 6/6 wood sash windows. The one-story, three-bay porch is covered by a hipped roof of standing seam metal that is supported by slender columns. The porch is set on a concrete pier foundation. The house is set on a foundation of concrete piers with concrete infill. Other details include gable end returns and cornerboards.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Privy	Contributing
<i>Individual Resource Status:</i> Stable	Contributing
<i>Individual Resource Status:</i> Shed	Non-Contributing

1586 A/B Anderson Highway 024-5025-0004; 024-0347

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Late 19th and Early 20th Century American Movement, ca1905**

This two-story, frame gable front and wing dwelling is clad with vinyl siding and is covered by intersecting metal-clad gable roofs. The main entry, located in the side wing section, consists of double-leaf doors with sidelights, wooden panels, and a two-light transom. A secondary entrance leads to an upstairs apartment. A one-story, hipped-roof porch runs the full width of the front of the house. It features turned wooden posts, decoratively sawn brackets, and rectangular balusters. Windows are 2/2 wood sash. Brick chimneys are centrally located on both the gable front wing and the side facing wing. The house is set on a concrete block pier foundation with concrete infill. On the rear, a second floor porch has been enclosed with jalousie windows. An exterior staircase has been added to the rear for the upstairs apartment. A wooden deck also has been added at the rear of the house. A bathroom addition has been constructed on the northeast side of the house. It is clad with masonite board siding and is set on wooden piers.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
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1587 Anderson Highway 024-5025-0009 NAPA Auto Parts

Primary Resource Information: **Store, Stories 1.00, Style: Other, 1988**

This one-story store features a concrete block storefront, while the rest of the building is clad with profiled metal siding. The front features large plate glass windows with large store signage above. Two building sections to the rear have overhead metal doors on the sides. All parts of the building are covered with low-pitched metal clad roofs.

<i>Individual Resource Status:</i> Store	Non-Contributing
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1593 Anderson Highway 024-5025-0008; 024-0348 Harvest Time Gospel Church/All Saints Episcopal Church

Primary Resource Information: **Church, Stories 1.00, Style: Late 19th and Early 20th Century American Movement, ca 1890**

This one-story, frame church is covered by a side-facing gable roof of asphalt shingles and is clad with beaded weatherboard siding with shaped wooden shingles in the gable ends. The projecting gable-roof entry porch features heavy timber members with chamfers, turned posts, and scroll work detailing. The entrance door is flanked by stained glass sidelights. Shed-roofed dormers are located high on the roof

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on the front and rear of the church. A one-story, shed-roofed addition has been constructed on the back of the building and features a concrete patio and a secondary entrance. Window openings feature rectilinear stained glass and two-over-two horizontally divided sashes. Other details include cornerboards, decorative brackets and pendants in the gable ends.

Individual Resource Status: **Church** **Contributing**
Individual Resource Status: **Shed** **Non-Contributing**
Individual Resource Status: **Shelter** **Non-Contributing**

1594 Anderson Highway 024-5025-0002

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1965**

This one-story, five-bay frame dwelling is clad with brick veneer and vinyl siding and is covered by a side-facing gable roof of asphalt shingles. Windows are 2/2 horizontally divided wood sash. There is one brick interior chimney. A wooden deck is located on the rear of the house.

Individual Resource Status: **Single Dwelling** **Non-Contributing**
Individual Resource Status: **Garage** **Non-Contributing**

1614 Anderson Highway 024-5025-0001; 024-0345 Burleigh Hall Farm

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Federal, ca 1810**

This two-story, three-bay brick dwelling is covered by a slate clad, side-facing gable roof with three front gable wall dormers. Similar dormers are located on the rear elevation. Weatherboard and shaped wooden shingles are located in the dormer gable ends. The house is set on a high basement. The centrally located entrance features double-leaf doors with sidelights and a multi-light transom. The three-bay front porch is covered by a shed roof that is supported by slender columns set on a foundation of brick piers. Windows on the house are 6/6 wood sash, which are paired in the center bay on the second floor level. The house features fine brickwork laid in a Flemish bond pattern with some penciling noted in the joints. Two exterior end brick chimneys have been overgrown by vines and the caps are not visible. The south end chimney is laid in three course American bond and metal tie rods were noted in the south end wall. The rear elevation holds an entrance into The dwelling has a center passage, single pile plan with a partly enclosed stair located on the south wall of the center passage. Details include built-in cabinets and ten-inch tall baseboards. A description of the house by a former resident states that in the early 1900s the house had a T-shaped plan. The rear gabled ell held a large living/dining room with a second-story porch on the west side. A fire occurred in this wing in the early 1900s and destroyed that part of the house. The house is in poor condition with some damage to the roof and eaves. The front porch is overgrown and in some sections is deteriorated.

Individual Resource Status: **Single Dwelling** **Contributing**
Individual Resource Status: **Barn** **Contributing**
Individual Resource Status: **Shed** **Contributing**
Individual Resource Status: **Shed** **Contributing**
Individual Resource Status: **Tenant House** **Contributing**

Courthouse Circle

0001, 0013, 0015, 0017 Courthouse Circle 024-5025-0052; 024-0005

Primary Resource Information: **Courthouse, Stories 1.00, Style: Early Classical Revival, 1818**

The Courthouse Square encompasses the 1818 courthouse and contemporaneous clerk's office, the old jail built ca. 1823, the nineteenth century well, the Confederate monument erected in 1901, the administration building constructed in 1965, and two memorial markers erected in the late twentieth century. All of the resources, except for the old jail, are enclosed within a low brick wall that was constructed in the early twentieth century to replace the former fence enclosure.

Individual Resource Status: **Courthouse** **Contributing**
Individual Resource Status: **Well** **Contributing**
Individual Resource Status: **Jail** **Contributing**

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<i>Individual Resource Status:</i> Office /Office Bldg.	Contributing
<i>Individual Resource Status:</i> Monument/Marker	Contributing
<i>Individual Resource Status:</i> Wall	Contributing
<i>Individual Resource Status:</i> Memorial Marker	Non-Contributing
<i>Individual Resource Status:</i> Memorial Marker	Non-Contributing
<i>Individual Resource Status:</i> Administration Bldg.	Non-Contributing

0016 Courthouse Circle 024-5025-0055; 024-0199 Peter Foster House

Primary Resource Information: **Single Dwelling, Stories 1.50, Style: Other, ca 1775**

Originally a hall-parlor-plan dwelling, this is a 1-1/2 story frame structure. Set upon a brick foundation, it is covered with a steeply pitched roof, featuring two end chimneys and is clad with beaded weatherboard siding. A shed roof addition extends off of the original building at the rear, while a one-story gable-roof wing extends off of one end wall. The frame building is clad with beaded weatherboard on the front (southeast) while the sides are smooth weatherboards. Details include cornerboards, a boxed eave, and 6/9 wood sash windows. The two exterior chimneys are laid in a five-course American brick bond.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
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Fitzgerald Road

0004 Fitzgerald Road 024-5025-0019; 024-0147 Flippen-Godsey House

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Colonial Revival, 1905**

This is a two-story, three-bay-wide frame dwelling that is covered by a hipped roof of standing seam metal. The centrally located double-height portico gives the house a striking appearance. The full entablature of the portico is supported by paired Ionic columns and pilasters. The centrally located entrance features a replacement door flanked by sidelights and a transom. The one-story porch wraps around the front of the house and the northeast side. The porch roof and balcony above are supported by paired and single Doric columns. A simple rectangular balustrade runs around the balcony. Windows are paired 9/1 replacement sashes. The house is set on a brick foundation and is clad with vinyl siding.

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Shed	Contributing
<i>Individual Resource Status:</i> Shed	Contributing
<i>Individual Resource Status:</i> Shed	Contributing
<i>Individual Resource Status:</i> Barn	Contributing
<i>Individual Resource Status:</i> Tenant House	Contributing
<i>Individual Resource Status:</i> Well	Contributing
<i>Individual Resource Status:</i> Chicken House	Contributing
<i>Individual Resource Status:</i> Gazebo	Non-Contributing

0006 Fitzgerald Road 024-5025-0020; 024-0146 Godsey House

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Late 19th and Early 20th Century American Movement, 1905**

This one-story frame cottage is covered by a hipped roof of asphalt shingles and is clad with vinyl siding. The one-story, three-bay front porch is covered by a low sloping roof that is supported by slender wooden columns. The centrally located entrance features double-leaf doors flanked by slender 1/1 windows, which are replacement sashes. Larger 1/1 windows are located in the bays that flank the entrance. A small screened-in porch is located on the west side of the house. The rear elevation features a centrally located entrance that is covered by a shed roof and is accessed by a set of concrete steps. The basement level and foundation of the house are clad with vinyl skirting

<i>Individual Resource Status:</i> Single Dwelling	Contributing
<i>Individual Resource Status:</i> Shed	Non-Contributing

0009 Fitzgerald Road 024-5025-0026; 024-0144 Flippen-Crawley House

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Primary Resource Information: **Single Dwelling, Stories, 2.50, Style: Queen Anne, ca.1905**

This is a transitional style house with Queen Anne massing and classical detailing. Typical of the Queen Anne style, the dwelling has a hipped roof with cross gables, large corbelled chimneys, projecting canted bays, a wrap-around porch, a rounded, one-story bay, and an enclosed second story porch under the gable end. The third story has diamond paned upper windows. Classically-inspired details include the Ionic capitals, the pedimented end gables and the wide 1/1 window openings. The front porch has a multi-beaded rail on square balusters and Ionic capitals. There are wood shingles on the gable end and second-story porch's conical roof at the corner of the wrap-around porch. The frame building is clad with weatherboard and wood shingle siding and the hip and gable roofs are clad with pressed metal shingles. The front porch is nine bays wide and is covered by a hipped roof with a front gable over the entry steps a conical roof covers the projecting round bay at the southwest corner of the porch. The entrance consists of double-leaf doors with a rectangular transom above. Other details include a wide frieze board and corner boards. A one-story, frame ell is located on the rear of the dwelling. A gable-roofed dormer and corbelled brick chimney are located on the ell. The property is heavily landscaped.

Individual Resource Status: **Single Dwelling** **Contributing**

0010 Fitzgerald Road 024-5025-0021; 024-0145 **Wilkerson House**

Primary Resource Information: **Single Dwelling, Stories, 2.00, Style: Late 19th and Early 20th Century American Movement, ca.1900**

This two-story, three-bay-wide frame dwelling is covered by a side-facing gable roof of asphalt shingles. The one-story, three-bay front porch is covered by a hipped roof with centrally located cross gable that is supported by turned columns with decorative brackets and pilasters. The centrally located entrance, which features an elaborate surround, is flanked by 2/2 wood sash windows. The house is set on a brick foundation and is clad with vinyl siding. A two-story ell is located on the southeastern corner (rear) of the house. The ell is covered by a hipped roof and is clad with vinyl. A wooden exterior stair has been constructed at the back of the wing to provide access to the second

floor level. A one-story addition is located on the southwestern corner of the house and a one-story porch is located at the rear of that addition. The dwelling also is now used for commercial purposes.

Individual Resource Status: **Single Dwelling** **Contributing**

0013 Fitzgerald Road 024-5025-0027; 024-0143 **Stewart-Crockett House**

Primary Resource Information: **Single Dwelling, Stories 2.50, Style: Late Victorian, ca 1875**

There are three sections to this dwelling: a two-story historic southeast section that is adjacent to Fitzgerald Road; the two-story, three-bay section; and a one-story, two-bay section. The historic house has undergone significant alteration, but retains important elements. The house is clad with vinyl and the historic section is covered by a gable roof of slate shingles. The one-story, five bay porch is located on the northeast side and features elaborate spindlework, turned columns, bracketed posts, and a sunburst pattern above the entrance bay. Windows on the house are 9/9 and 6/6 vinyl replacements. The brick chimney on the southeast end of the historic section, which rests adjacent to the sidewalk, has a stone base with a brick stack laid in four- and five-course American bond brick patterns. The two-story, three-bay addition on the northwest end of the house is covered by a gable roof of slate shingles and is clad with vinyl. The one-story addition, also clad with vinyl, is covered by a gable roof of asphalt shingles. A wooden deck is located on the rear of the center section of the house.

Individual Resource Status: **Single Dwelling** **Contributing**
Individual Resource Status: **Shed** **Non-Contributing**
Individual Resource Status: **Carport** **Non-Contributing**

0014 Fitzgerald Road 024-5025-0022 **Fitzgerald Memorial Baptist Church**

Primary Resource Information: **Church, Stories 1.00, Style: Colonial Revival, 1929**

This one-story, three-by-four-bay church is covered by a front facing gable roof with a pedimented portico on the front. Heavy square posts support the tall portico, which is accessed by brick stairs that wrap around the front and sides of the entry. Double entry doors are centrally located on the front of the church and are flanked by rectilinear window openings that hold 1/1 sashes with stained glass panes. Three-part jack arches are located above the window openings and brick row lock sills are located below. The brick walls are laid in a

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running bond and a water table is present. The rectilinear openings on the sides of the church also hold 1/1 stained glass window panes. The southeast wall (rear) of the church is clad with vinyl. In the late 1970s, the original weatherboard of the church was clad with a brick veneer. The rear wall was clad with vinyl. A one-story frame addition is located on the rear of the brick section of the church. The gable roof is clad with asphalt shingles and the siding is vinyl. The addition is set on a concrete block foundation.

Individual Resource Status: **Church**

Contributing

0017 Fitzgerald Road 024-5025-0028; 024-0142

Seay-Price House

Primary Resource Information: **Single Dwelling, Stories, 1.00, Style: Late Victorian, ca.1875**

The one-story, frame house is covered by a side-facing gable roof of standing seam metal with a projecting front gable over the centered entrance. The one-story, three-bay-wide front porch features elaborate spindlework and turned elements. Decorative elements also are located in the gable ends. The three-bay front features a centrally located entrance with a single-leaf, paneled door with a two-pane transom above. Windows are 6/6 vinyl sashes. The house is clad with weatherboard. A wooden deck is located at the rear (west) of the house. The house is set on a foundation of brick piers with concrete block infill. Details on the T-shaped plan house include a boxed cornice and a front gable portico with turned posts, bargeboard, turned balusters, and spindlework.

Individual Resource Status: **Single Dwelling**

Contributing

Individual Resource Status: **Shed**

Non-Contributing

0025 Fitzgerald Road 024-5025-0029; 024-0140

Red Rose Inn

Primary Resource Information: **Multiple dwelling, Stories 2.00, Style: Late 19th and Early 20th Century American Movement, ca.1875**

The two-story, frame side-wing and gable front dwelling is covered by intersecting gable roofs of crimped metal. The porch, which runs along the front of the side wing and wraps around the front of the projecting wing, is covered by a hipped roof of standing seam metal. The porch and gable ends of the house feature elaborate spindlework and turned elements. A wide frieze board and gable end returns also decorate the building. A projecting gable roof is located at the entrance (center of three bays). The double-leaf entrance features a rectangular two-pane transom above. The house is clad with weatherboard and is set on a concrete foundation.

Individual Resource Status: **Multiple dwelling**

Contributing

0026 Fitzgerald Road 024-5025-0036; 024-0141

Gilliam House

Primary Resource Information: **Single Dwelling, Stories 2.50, Style: Late 19th and Early 20th Century American Movement, 1929**

This two-and-a-half-story, frame dwelling has been clad with aluminum siding. The front-facing gable roof is of standing seam metal. The two-bay-wide facade features an entrance in the southwestern bay, which holds a wooden door with 12-panes of glass; the door is flanked to the left by a pair of 6/1 wood sash windows. The one-story, two-bay front porch is covered by a gable roof that is supported by wooden tapered posts that are set on brick piers with square balusters located between them. The house is set on a brick foundation. Windows on the side of the dwelling are 2/2 wood sash. A one-story, frame ell is located at the rear of the dwelling. The ell also is clad with aluminum siding and is covered by a gable roof of standing seam metal.

Individual Resource Status: **Single Dwelling**

Contributing

Individual Resource Status: **Shed**

Contributing

Individual Resource Status: **Garage**

Non-Contributing

School Road

0060 School Road 024-5025-0040; 024-0350

Cumberland County Middle and High School

Primary Resource Information: **School, Stories 2.00, Style: Moderne, 1936**

The Cumberland County Middle and High School property contains 18 buildings on a 13-acre parcel. The centerpiece of the campus-style arrangement is the two-story, brick school building constructed in 1936. Three other historic buildings—the 1940s log cabin, the 1940s brick agricultural building, and the 1940s frame cannery—are also located on the property. The non-contributing buildings are all one-story, brick and concrete buildings that were constructed in the late 1960s-1970s.

Individual Resource Status: **School**

Contributing

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
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**Cumberland Court House Historic District
Cumberland, Virginia**

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is of smooth brick, while the sides are common, rougher brick. The facade is laid in a common brick pattern with Flemish bond in the recessed panels beneath the window openings. The sides and rear are laid in a five-course American brick bond pattern. The sides hold 9/9 vinyl windows.

Individual Resource Status: **Bank**

Contributing

0004 Stoney Point Road 024-5025-0030; 024-0139

Primary Resource Information: **Commercial Building, Stories 1.00, Style: Other, 1890**

The building appears to be undergoing some rehabilitation on the interior. The one-story, frame building is covered by a hipped roof of slate shingles. The three-bay front features a centrally located, single leaf entrance with a two-pane transom above. The entrance is flanked by paired, one-over-one, sash windows. The building is clad with weatherboard and is set on a concrete foundation. A one-story, four-bay, hip-roofed (asphalt shingles) addition is located on the rear (southwest). The addition is clad with weatherboard and is set on a concrete block foundation.

Individual Resource Status: **Commercial Building**

Contributing

0020 Stoney Point Road 024-5025-0042; 024-0149

Clements House

Primary Resource Information: **Single Dwelling, Stories 1.50, Style: Late 19th and Early 20th Century American Movement, 1951**

This one-and-a-half-story, stone-clad, Cape-style dwelling is covered by a side-facing gable roof of asphalt shingles with two front gable dormers that are clad on the sides with asbestos shingle siding. The three-bay front features a centrally located entrance that is sheltered by a cross gable roof. The doorway features a wooden aedicule surround with fluted pilasters and an arched motif molding above. Other details on the dwelling include a wide wooden frieze board and paneled shutters. Windows are paired, 1/1 sashes. A large exterior stone chimney is located on the northwest end of the dwelling. A one-story, gable-roofed porch also is located on the northwest end of the dwelling. A full-width, three-bay shed dormer is located across the rear of the dwelling. A one-story hip-roofed wing also is located on the rear of the dwelling. The wing is clad with stone, while the dormer is clad with asbestos shingle siding. According to an article about the house, the interior features six rooms, two baths, and a full basement. Interior woodwork is of cedar and walnut. Rooms are paneled with walnut and the stairs are of walnut.

Individual Resource Status: **Single Dwelling**

Contributing

Individual Resource Status: **Well**

Contributing

Individual Resource Status: **Garage**

Contributing

Individual Resource Status: **Wall**

Contributing

0021-0025 Stoney Point Road 024-5025-0051

Shepherd-Pepper House

Primary Resource Information: **Single Dwelling, Stories 1.50, Style: Bungalow/Craftsman, 1921**

This one-and-a-half-story, frame dwelling is covered by a hipped roof of slate shingles. Hipped dormers are present on the front and sides of the house. The one-story, ten-bay porch is covered by a low-sloping hipped roof that is supported by tapered wooden columns. The porch wraps around the front and the southeast side of the house. The three-bay front features a centrally located entrance that holds double-leaf doors with sidelights. There are two interior brick chimneys on the house. Windows are 9/9 vinyl replacement sashes. The house is clad with vinyl siding. The rear porch has been enclosed with single pane casement windows and vinyl siding. A shed roof covers the porch and a

secondary entrance is located there. A brick pathway leads to the modern garage located north of the house.

Individual Resource Status: **Single Dwelling**

Contributing

Individual Resource Status: **Garage**

Contributing

Individual Resource Status: **Garage**

Non-Contributing

Individual Resource Status: **Shed**

Non-Contributing

0026 Stoney Point Road 024-5025-0043

Primary Resource Information: **Single Dwelling, Stories 1.50, Style: Other, 1957**

**United States Department of the Interior
National Park Service**

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This resource is a one-and-a-half-story, brick dwelling covered by a side-facing gable roof of asphalt shingles. A brick chimney is located on the northwest end of the house. The front features a two-bay section that holds the entrance and a bay window. At the southeast end of that section is a one-bay section, the front of which is set back from the two-bay section. Windows include 8/8 wooden sashes, as well as the multi-paned bay window. A shed roof supported by square wooden posts covers the full-width porch on the back of the dwelling. The porch is set on a concrete pad with brick facing. The porch is open on all sides.

Individual Resource Status: **Single Dwelling**

Contributing

Individual Resource Status: **Shed**

Non-Contributing

0027 Stoney Point Road 024-5025-0050

Primary Resource Information: **Single Dwelling, Stories 1.00, Style: Other, 1910**

This one-story, frame dwelling is clad with vinyl siding, is covered by a hipped roof, and is set on a brick foundation. The one-story, three-bay front porch is covered by a hipped roof that is supported by square wooden posts. The double-leaf entry doors are centrally located on the three-bay front. The entrance is flanked by single 1/1 windows. A one-story, shed-roofed addition is located across the rear of the dwelling. A wooden deck also is located at the rear and gives access to a secondary entrance.

Individual Resource Status: **Single Dwelling**

Contributing

Individual Resource Status: **Shed**

Contributing

Individual Resource Status: **Shed**

Non-Contributing

0028 Stoney Point Road 024-5025-0044

Primary Resource Information: **Single Dwelling, Stories 1.50, Style: Other, 1948**

This resource is a one-and-a-half-story dwelling that is clad with brick and is covered by a side-facing gable roof of asphalt shingles. The dwelling is composed of three, telescoping sections. The northwestern bay holds the entrance and a single 8/8 wood sash window. The door opening features an aedicule surround and modillion blocks and dentils are present along the frieze. The second section (located to the southeast) holds two bays, each of which hold an 8/8 wood sash window. The last bay holds a single, small 8/8 window. A brick chimney is located on the northwest end of the house. The one-story, three-bay porch located on the northwest end of the house is covered by a gable roof of asphalt shingles that is supported by square wooden posts with square balusters between them. A secondary entrance is located off of this porch. The rear of the house holds a shed-roofed bathroom addition at the western corner that is clad with weatherboards. Another

shed-roofed addition is located at the southern corner of the house and also is clad with weatherboard and has a wooden deck at the back.

Individual Resource Status: **Single Dwelling**

Contributing

0031 Stoney Point Road 024-5025-0049

Primary Resource Information: **Single Dwelling, Stories 2.00, Style: Other, 1900**

This two-story, three-bay, frame dwelling is covered by a side-facing gable roof of asphalt shingle. The one-story, five-bay front porch is covered by a hipped roof that is supported by square wooden posts. The porch floor is raised on piers. The centrally located entrance is flanked by paired 1/1 windows. The dwelling is clad with aluminum siding and is set on a foundation of concrete block. The rear elevation exhibits numerous additions of one and two stories covered by shed and gable roofs. The dwelling is now operated as a home for elderly and disabled persons.

Individual Resource Status: **Single Dwelling**

Contributing

Individual Resource Status: **Shed**

Non-Contributing

**United States Department of the Interior
National Park Service**

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0032 Stoney Point Road 024-5025-0045

Primary Resource Information: Single Dwelling, Stories 1.50, Style: Other, 1947

This one-and-a-half-story, frame dwelling is clad with vinyl siding and is covered by a side-facing gable roof of asphalt shingles with two gable front dormers. The entrance is located in the second from left bay on the four-bay front. A one-story wing is located on the northwest end of the house. Brick chimneys are located at the northwest and southeast ends of the house. Windows are 8/8 and 6/6 wood sashes. The house is set on a concrete foundation. A three-bay shed dormer runs across the rear of the dwelling. A two-bay porch that is covered by a shed roof holds a rear entrance.

Individual Resource Status: Single Dwelling

Contributing

Individual Resource Status: Shed

Non-Contributing

0033 Stoney Point Road 024-5025-0048

Primary Resource Information: Single Dwelling, Stories 1.50, Style: Bungalow/Craftsman, 1930

This resource is a one-and-a-half-story frame bungalow-style dwelling that is covered by a side-facing gable roof with a large gable dormer on the front. The gable roof extends over the three-bay front porch and is supported by tapered posts set on brick piers. The roof extends to the southeast to cover the porte cochere on that corner. Windows are 1/1 replacements. The two-bay front holds a pair of 1/1 windows and the entrance. The house has been clad with aluminum siding. The rear of the house also features a large gable-roofed dormer. It appears that a rear porch has been enclosed with 1/1 windows and aluminum siding. The house was remodeled in 1999.

Individual Resource Status: Single Dwelling

Contributing

0035 Stoney Point Road 024-5025-0047

Primary Resource Information: Single Dwelling, Stories 2.00, Style: Other, ca 1910

This is a two-story, three-bay-wide, frame dwelling that is covered by a side facing gable roof of asphalt shingle with two brick chimneys along the roof ridge. The one-story, five-bay porch located across the front of the dwelling is covered by a hipped roof that is supported by turned wooden posts set on a raised concrete pad. The dwelling is clad with aluminum siding. The centrally located entrance consists of double-leaf wooden doors with a two-pane transom above. The dwelling is set on a brick foundation that was modified with the application of stucco. A one-story, gable ell projects off the rear of the dwelling. It holds a kitchen. A shed roof covers the two-bay porch on the southeast side of the ell.

Individual Resource Status: Single Dwelling

Contributing

Individual Resource Status: Shed

Non-Contributing

0036 Stoney Point Road 024-5025-0046

Primary Resource Information: Single Dwelling, Stories 1.00, Style: Other, 1950

This one-story, brick dwelling is T-shaped in plan. It is covered by a hipped roof with front projecting hipped wings at either end. The roof is of asphalt shingles. The wooden frieze board features a scalloped edge. Windows are paired 1/1 vinyl sashes. A picture window also is located on the front. The entrance is located off of the raised concrete porch that is centrally located on the front of the house. The one-story, four-bay rear porch is covered by a low, shed roof of corrugated metal that is supported by square posts set on a concrete pad. The rear and side yards are fenced.

Individual Resource Status: Single Dwelling

Contributing

Individual Resource Status: Shed

Non-Contributing

Individual Resource Status: Shed

Non-Contributing

Individual Resource Status: Garage

Non-Contributing

END OF INVENTORY



D. Courthouse Historic District and Entrance Corridor Property Listings and Parcel Maps

Property Listings by Address

CUMBERLAND COUNTY

LIST OF ADDRESSES WITHIN COURTHOUSE HISTORIC DISTRICT AND ENTRANCE CORRIDOR

Street Number	Street Name	Tax Map	Courthouse/E.Corridor
1354	ANDERSON HIGHWAY	057-A-100	Courthouse
1388	ANDERSON HIGHWAY	057-A-12	Courthouse
1418	ANDERSON HIGHWAY	057-A-14B	Courthouse
1470	ANDERSON HIGHWAY	057A2-A-13	Courthouse
1473	ANDERSON HIGHWAY	057A2-A-38	Courthouse
1474	ANDERSON HIGHWAY	Contact County for Information	Courthouse
1561	ANDERSON HIGHWAY	Contact County for Information	Courthouse
1594	ANDERSON HIGHWAY	057A1-A-17	Courthouse
665	ANDERSON HIGHWAY	051-A-23A	E.Corridor
995	ANDERSON HIGHWAY	050-A-29A	E.Corridor
1072	ANDERSON HIGHWAY	050-1-28	E.Corridor
1098	ANDERSON HIGHWAY	050-1-27	E.Corridor
1198	ANDERSON HIGHWAY	057-1-12	E.Corridor
1208	ANDERSON HIGHWAY	Contact County for Information	E.Corridor
1280	ANDERSON HIGHWAY	057-A-65	E.Corridor
1311	ANDERSON HIGHWAY	057-A-54A	E.Corridor
1365	ANDERSON HIGHWAY	Contact County for Information	Courthouse
1387	ANDERSON HIGHWAY	057-A-39	Courthouse
1408	ANDERSON HIGHWAY	057-A-14	Courthouse
1413	ANDERSON HIGHWAY	057-A-37	Courthouse
1422	ANDERSON HIGHWAY	057-A-14A	Courthouse
1425	ANDERSON HIGHWAY	057-A-36A	Courthouse
1429	ANDERSON HIGHWAY	057A2-A-45	Courthouse
1433	ANDERSON HIGHWAY	057A2-A-44	Courthouse
1437	ANDERSON HIGHWAY	057A2-A-43	Courthouse
1444	ANDERSON HIGHWAY	057A2-A-5	Courthouse
1446	ANDERSON HIGHWAY	057A2-A-6	Courthouse
1448	ANDERSON HIGHWAY	057A2-A-7	Courthouse
1449	ANDERSON HIGHWAY	057A2-A-42	Courthouse

Note: Please contact the Cumberland County Planning and Zoning Department with any questions regarding property location within the Courthouse Historic District or Entrance Corridor



CUMBERLAND COUNTY

LIST OF ADDRESSES WITHIN COURTHOUSE HISTORIC DISTRICT AND ENTRANCE CORRIDOR

Street Number	Street Name	Tax Map	Courthouse/E.Corridor
1450	ANDERSON HIGHWAY	057A2-A-10	Courthouse
1451	ANDERSON HIGHWAY	057A2-A-41	Courthouse
1461	ANDERSON HIGHWAY	Contact County for Information	Courthouse
1463	ANDERSON HIGHWAY	057A2-A-40	Courthouse
1465	ANDERSON HIGHWAY	057A2-A-39	Courthouse
1467	ANDERSON HIGHWAY	Contact County for Information	Courthouse
1468	ANDERSON HIGHWAY	057A2-A-12	Courthouse
1475	ANDERSON HIGHWAY	057A2-A-32	Courthouse
1481	ANDERSON HIGHWAY	057A2-A-36	Courthouse
1483	ANDERSON HIGHWAY	057A2-A-34	Courthouse
1485	ANDERSON HIGHWAY	057A2-A-33	Courthouse
1487	ANDERSON HIGHWAY	057A2-A-32	Courthouse
1489	ANDERSON HIGHWAY	057A2-A-30	Courthouse
1490	ANDERSON HIGHWAY	057A2-A-15	Courthouse
1491	ANDERSON HIGHWAY	Contact County for Information	Courthouse
1492	ANDERSON HIGHWAY	057A2-A-19	Courthouse
1496	ANDERSON HIGHWAY	057A1-A-3	Courthouse
1522	ANDERSON HIGHWAY	057A1-A-5	Courthouse
1524	ANDERSON HIGHWAY	057A1-A-6	Courthouse
1527	ANDERSON HIGHWAY	Contact County for Information	Courthouse
1529	ANDERSON HIGHWAY	057-A-41	Courthouse
1530	ANDERSON HIGHWAY	057A1-A-7	Courthouse
1532	ANDERSON HIGHWAY	057A1-A-7A	Courthouse
1539	ANDERSON HIGHWAY	057A1-A-33	Courthouse
1541	ANDERSON HIGHWAY	57A1-A-30	Courthouse
1542	ANDERSON HIGHWAY	057A1-A-9	Courthouse
1548	ANDERSON HIGHWAY	057A1-A-11	Courthouse
1550	ANDERSON HIGHWAY	057A1-A-11	Courthouse
1560	ANDERSON HIGHWAY	057A1-1-4	Courthouse



CUMBERLAND COUNTY

LIST OF ADDRESSES WITHIN COURTHOUSE HISTORIC DISTRICT AND ENTRANCE CORRIDOR

Street Number	Street Name	Tax Map	Courthouse/E. Corridor
1575	ANDERSON HIGHWAY	057A1-A-28	Courthouse
1576	ANDERSON HIGHWAY	057A1-A-12	Courthouse
1580	ANDERSON HIGHWAY	057A1-A-13	Courthouse
1583	ANDERSON HIGHWAY	057A1-A-26	Courthouse
1586	ANDERSON HIGHWAY	057A1-A-14	Courthouse
1587	ANDERSON HIGHWAY	057A1-A-27	Courthouse
1593	ANDERSON HIGHWAY	057A1-A-23	Courthouse
1614	ANDERSON HIGHWAY	057-A-24	Courthouse
1356	ANDERSON HIGHWAY	57-A-100	Courthouse
105	ANDERSON HIGHWAY	045-A-12B	E. Corridor
139	ANDERSON HIGHWAY	045-A-12	E. Corridor
152	ANDERSON HIGHWAY	044-A-28	E. Corridor
169	ANDERSON HIGHWAY	044-A-48	E. Corridor
196	ANDERSON HIGHWAY	044-A-46	E. Corridor
199	ANDERSON HIGHWAY	044-A-43	E. Corridor
209	ANDERSON HIGHWAY	Contact County for Information	E. Corridor
217	ANDERSON HIGHWAY	044-A-42A	E. Corridor
217	ANDERSON HIGHWAY	044-A-42A	E. Corridor
218	ANDERSON HIGHWAY	044-A-41	E. Corridor
219	ANDERSON HIGHWAY	052-A-13	E. Corridor
225	ANDERSON HIGHWAY	Contact County for Information	E. Corridor
262	ANDERSON HIGHWAY	Contact County for Information	E. Corridor
272	ANDERSON HIGHWAY	052-A-10	E. Corridor
275	ANDERSON HIGHWAY	Contact County for Information	E. Corridor
286	ANDERSON HIGHWAY	Contact County for Information	E. Corridor
302	ANDERSON HIGHWAY	052-A-8	E. Corridor
338	ANDERSON HIGHWAY	052-A-6A	E. Corridor
354	ANDERSON HIGHWAY	052-A-6C	E. Corridor
357	ANDERSON HIGHWAY	052-1-2	E. Corridor



CUMBERLAND COUNTY

LIST OF ADDRESSES WITHIN COURTHOUSE HISTORIC DISTRICT AND ENTRANCE CORRIDOR

Street Number	Street Name	Tax Map	Courthouse / E. Corridor
365	ANDERSON HIGHWAY	<i>Contact County for Information</i>	E. Corridor
378	ANDERSON HIGHWAY	052-A-4A	E. Corridor
380	ANDERSON HIGHWAY	<i>Contact County for Information</i>	E. Corridor
450	ANDERSON HIGHWAY	<i>Contact County for Information</i>	E. Corridor
452	ANDERSON HIGHWAY	<i>Contact County for Information</i>	E. Corridor
472	ANDERSON HIGHWAY	051-A-32B	E. Corridor
500	ANDERSON HIGHWAY	051-A-32	E. Corridor
518	ANDERSON HIGHWAY	051-A-32A	E. Corridor
559	ANDERSON HIGHWAY	051-A-18	E. Corridor
591	ANDERSON HIGHWAY	051-A-30	E. Corridor
611	ANDERSON HIGHWAY	051-A-21A	E. Corridor
613	ANDERSON HIGHWAY	051-A-21	E. Corridor
641	ANDERSON HIGHWAY	051-A-23B	E. Corridor
656	ANDERSON HIGHWAY	051-A-17	E. Corridor
663	ANDERSON HIGHWAY	051-A-23	E. Corridor
687	ANDERSON HIGHWAY	051-A-24	E. Corridor
698	ANDERSON HIGHWAY	051-A-25A	E. Corridor
759	ANDERSON HIGHWAY	051-A-5	E. Corridor
913	ANDERSON HIGHWAY	050-5-3	E. Corridor
967	ANDERSON HIGHWAY	050-A-30	E. Corridor
968	ANDERSON HIGHWAY	050-A-36	E. Corridor
993	ANDERSON HIGHWAY	050-A-29	E. Corridor
1016	ANDERSON HIGHWAY	050-A-38	E. Corridor
1112	ANDERSON HIGHWAY	050-1-25	E. Corridor
1116	ANDERSON HIGHWAY	050-1-22	E. Corridor
1172	ANDERSON HIGHWAY	<i>Contact County for Information</i>	E. Corridor
1202	ANDERSON HIGHWAY	057-1-11	E. Corridor
1222	ANDERSON HIGHWAY	057-1-9	E. Corridor
1248	ANDERSON HIGHWAY	057-1-7	E. Corridor



CUMBERLAND COUNTY

LIST OF ADDRESSES WITHIN COURTHOUSE HISTORIC DISTRICT AND ENTRANCE CORRIDOR

Street Number	Street Name	Tax Map	Courthouse/E.Corridor
1252	ANDERSON HIGHWAY	<i>Contact County for Information</i>	E. Corridor
1262	ANDERSON HIGHWAY	057-1-3	E. Corridor
1270	ANDERSON HIGHWAY	57-1-2A	E. Corridor
1272	ANDERSON HIGHWAY	<i>Contact County for Information</i>	E. Corridor
1296	ANDERSON HIGHWAY	057-A-87	E. Corridor
1302	ANDERSON HIGHWAY	057-A-88	E. Corridor
1321	ANDERSON HIGHWAY	057-A-47	E. Corridor
1343	ANDERSON HIGHWAY	057-A-43	E. Corridor
1345	ANDERSON HIGHWAY	057-A-42	E. Corridor
1347	ANDERSON HIGHWAY	057-A-42A	E. Corridor
6481	ANDERSON HIGHWAY	045-A-15	E. Corridor
6483	ANDERSON HIGHWAY	045-A-15B	E. Corridor
6485	ANDERSON HIGHWAY	045-A-16	E. Corridor
6487	ANDERSON HIGHWAY	045-A-12D	E. Corridor
929A	ANDERSON HIGHWAY	<i>Contact County for Information</i>	E. Corridor
929B	ANDERSON HIGHWAY	<i>Contact County for Information</i>	E. Corridor
1309B	ANDERSON HIGHWAY	057-A-55	E. Corridor
6482A	ANDERSON HIGHWAY	045-1-16	E. Corridor
6482B	ANDERSON HIGHWAY	045-1-16	E. Corridor
6484 A	ANDERSON HIGHWAY	045-1-16B	E. Corridor
6484 B	ANDERSON HIGHWAY	045-1-16B	E. Corridor
466	ANDERSON HIGHWAY	052-A-1B	E. Corridor
1333	ANDERSON HIGHWAY	057-A-45	E. Corridor
6630	BLENHEIM ROAD	<i>Contact County for Information</i>	E. Corridor
44	CARTERSVILLE ROAD	050-A-40	E. Corridor
46	CARTERSVILLE ROAD	<i>Contact County for Information</i>	E. Corridor
3	CHURCHWOOD LANE	052-A-9A41	E. Corridor
19	CHURCHWOOD LANE	052-A-9A3	E. Corridor
20	CHURCHWOOD LANE	052-A-9A6	E. Corridor



CUMBERLAND COUNTY

LIST OF ADDRESSES WITHIN COURTHOUSE HISTORIC DISTRICT AND ENTRANCE CORRIDOR

Street Number	Street Name	Tax Map	Courthouse/E.Corridor
30	CHURCHWOOD LANE	Contact County for Information	E. Corridor
35	CHURCHWOOD LANE	052-A-9A1A	E. Corridor
17	CHURCHWOOD LANE	52A-9-A4	E. Corridor
27	CLINTON ROAD	052-A-8A	E. Corridor
73	CLINTON ROAD	052-A-5	E. Corridor
13	COURTHOUSE CIRCLE	057A2-A-15	Courthouse
17	COURTHOUSE CIRCLE	057A2-A-15	Courthouse
1	COURTHOUSE CIRCLE	057A2-A-15	Courthouse
9	FITZGERALD ROAD	057A1-A-39	Courthouse
4	FITZGERALD ROAD	057A1-A-36	Courthouse
10	FITZGERALD ROAD	057A1-A-38	Courthouse
13	FITZGERALD ROAD	057A1-A-4	Courthouse
14	FITZGERALD ROAD	057A2-A-24	Courthouse
19	FITZGERALD ROAD	57A2-A-23	Courthouse
26	FITZGERALD ROAD	057A2-A-26	Courthouse
25B	FITZGERALD ROAD	057A2-A-22	Courthouse
6	FITZGERALD ROAD	057A1-A-37	Courthouse
28	FRENCHS STORE ROAD	Contact County for Information	E. Corridor
32	FRENCHS STORE ROAD	Contact County for Information	E. Corridor
38	FRENCHS STORE ROAD	052-A-14J	E. Corridor
11	NORTHFIELD ROAD	050-2-1	E. Corridor
13	NORTHFIELD ROAD	050-2-2	E. Corridor
23	NORTHFIELD ROAD	050-2-3A	E. Corridor
31	NORTHFIELD ROAD	Contact County for Information	E. Corridor
41	NORTHFIELD ROAD	Contact County for Information	E. Corridor
21	NORTHFIELD ROAD	50-2-3	E. Corridor
21	OAK FOREST ROAD	Contact County for Information	E. Corridor
4	OLD BUCKINGHAM ROAD	Contact County for Information	E. Corridor
5	OLD BUCKINGHAM ROAD	057-A-56	E. Corridor



CUMBERLAND COUNTY

LIST OF ADDRESSES WITHIN COURTHOUSE HISTORIC DISTRICT AND ENTRANCE CORRIDOR

Street Number	Street Name	Tax Map	Courthouse/E.Corridor
30	CHURCHWOOD LANE	<i>Contact County for Information</i>	E. Corridor
35	CHURCHWOOD LANE	052-A-9A1A	E. Corridor
17	CHURCHWOOD LANE	52A-9-A4	E. Corridor
27	CLINTON ROAD	052-A-8A	E. Corridor
73	CLINTON ROAD	052-A-5	E. Corridor
13	COURTHOUSE CIRCLE	057A2-A-15	Courthouse
17	COURTHOUSE CIRCLE	057A2-A-15	Courthouse
1	COURTHOUSE CIRCLE	057A2-A-15	Courthouse
9	FITZGERALD ROAD	057A1-A-39	Courthouse
4	FITZGERALD ROAD	057A1-A-36	Courthouse
10	FITZGERALD ROAD	057A1-A-38	Courthouse
13	FITZGERALD ROAD	057A1-A-4	Courthouse
14	FITZGERALD ROAD	057A2-A-24	Courthouse
19	FITZGERALD ROAD	57A2-A-23	Courthouse
26	FITZGERALD ROAD	057A2-A-26	Courthouse
25B	FITZGERALD ROAD	057A2-A-22	Courthouse
6	FITZGERALD ROAD	057A1-A-37	Courthouse
28	FRENCHS STORE ROAD	<i>Contact County for Information</i>	E. Corridor
32	FRENCHS STORE ROAD	<i>Contact County for Information</i>	E. Corridor
38	FRENCHS STORE ROAD	052-A-14J	E. Corridor
11	NORTHFIELD ROAD	050-2-1	E. Corridor
13	NORTHFIELD ROAD	050-2-2	E. Corridor
23	NORTHFIELD ROAD	050-2-3A	E. Corridor
31	NORTHFIELD ROAD	<i>Contact County for Information</i>	E. Corridor
41	NORTHFIELD ROAD	<i>Contact County for Information</i>	E. Corridor
21	NORTHFIELD ROAD	50-2-3	E. Corridor
21	OAK FOREST ROAD	<i>Contact County for Information</i>	E. Corridor
4	OLD BUCKINGHAM ROAD	<i>Contact County for Information</i>	E. Corridor
5	OLD BUCKINGHAM ROAD	057-A-56	E. Corridor



CUMBERLAND COUNTY

LIST OF ADDRESSES WITHIN COURTHOUSE HISTORIC DISTRICT AND ENTRANCE CORRIDOR

Street Number	Street Name	Tax Map	Courthouse/E.Corridor
6	OLD BUCKINGHAM ROAD	057-A-59	E. Corridor
25	OLD BUCKINGHAM ROAD	Contact County for Information	E. Corridor
30	OLD BUCKINGHAM ROAD	057-A-60	E. Corridor
38	OLD BUCKINGHAM ROAD	Contact County for Information	E. Corridor
40	OLD BUCKINGHAM ROAD	Contact County for Information	E. Corridor
42	OLD BUCKINGHAM ROAD	057-A-80	E. Corridor
46	OLD BUCKINGHAM ROAD	Contact County for Information	E. Corridor
48	OLD BUCKINGHAM ROAD	057-A-79	E. Corridor
51	OLD BUCKINGHAM ROAD	057-A-81	E. Corridor
1	SCHOOL ROAD EXTENSION	Contact County for Information	Courthouse
15	SCHOOL ROAD EXTENSION	57A1-A-32	Courthouse
39	SCHOOL ROAD EXTENSION	Contact County for Information	Courthouse
1	STONE POINT ROAD	Contact County for Information	Courthouse
3	STONE POINT ROAD	Contact County for Information	Courthouse
4	STONE POINT ROAD	057A2-A-21	Courthouse
20	STONE POINT ROAD	057A2-2-1A	Courthouse
25	STONE POINT ROAD	Contact County for Information	Courthouse
26	STONE POINT ROAD	057A2-2-1	Courthouse
27	STONE POINT ROAD	Contact County for Information	Courthouse
28	STONE POINT ROAD	057A2-2-2	Courthouse
31	STONE POINT ROAD	Contact County for Information	Courthouse
32	STONE POINT ROAD	057A2-2-3	Courthouse
33	STONE POINT ROAD	057A2-1-5B	Courthouse
35	STONE POINT ROAD	Contact County for Information	Courthouse
36	STONE POINT ROAD	057A2-2-4	Courthouse
38	STONE POINT ROAD	057A2-2-5	Courthouse
51	STONE POINT ROAD	Contact County for Information	Courthouse
2	STONE POINT ROAD	057A2-A-20	Courthouse
28	THE WOODS	052-2-2	E. Corridor
32	THE WOODS	052-2-3	E. Corridor



Property Listings by Parcel Number

Tax Map	Insert	Section	Block #	Parcel #	District/ Ent. Corridor	Full/Partial*
44		3		15A	Corridor	partial
44		3		15B	Corridor	full
44		3		10	Corridor	partial
44		A		42	Corridor	partial
44		A		42C	Corridor	full
44		A		42B	Corridor	full
44		A		41A	Corridor	partial
44		A		41	Corridor	partial
44		A		42A	Corridor	full
44		A		43	Corridor	full
44		2		4	Corridor	partial
44		A		46	Corridor	full
44		A		47	Corridor	partial
44		A		44	Corridor	full
44		A		45	Corridor	full
44		A		48	Corridor	full
44		A		49	Corridor	full
44		A		49A	Corridor	full
44		A		49B	Corridor	full
44		A		49C	Corridor	full
44		A		28	Corridor	full
44		A		27	Corridor	full
44		A		29	Corridor	full
44		A		26	Corridor	partial
44		A		26A	Corridor	partial
44		2		2B	Corridor	partial
44		2		6B	Corridor	partial
44		2		3	Corridor	full
44		2		3A	Corridor	full
44		2		1	Corridor	partial
45		A		11B	Corridor	partial
45		A		11C	Corridor	partial
45		A		11	Corridor	partial
45		1		15	Corridor	partial
45		1		16	Corridor	full
45		1		16A	Corridor	partial
45		1		17	Corridor	partial
45		A		15	Corridor	partial (Powhatan line)
45		A		15A	Corridor	full
45		A		15B	Corridor	full
45		A		16	Corridor	full
45		A		17	Corridor	partial
45		A		18A	Corridor	partial
45		A		14A	Corridor	partial
45		A		14	Corridor	partial
45		A		13	Corridor	partial
45		A		12	Corridor	partial

***Full:** A parcel fully contained within its respective district or corridor. The requirements of the district or corridor apply to the whole parcel.

***Partial:** A parcel with a portion not within a district or corridor. The guidelines would only apply to the portion within the district or corridor and would be optional (though highly suggested) that the rest comply with the guidelines.

Please contact the Cumberland County Planning and Zoning Department if you have questions regarding property location within the Courthouse Historic District or Entrance Corridor (see p.6 for details).



Tax Map	Insert	Section	Block #	Parcel #	District/ Ent. Corridor	Full/Partial*
45		A		12A	Corridor	full
45		A		12B	Corridor	full
45		A		12C	Corridor	full
45		A		12D	Corridor	full
45		A		12E	Corridor	full
45		A		12F	Corridor	full
50		1		13	Corridor	partial
50		1		14	Corridor	partial
50		1		15	Corridor	partial
50		1		16	Corridor	partial
50		1		17	Corridor	partial
50		1		18	Corridor	partial
50		1		19	Corridor	partial
50		1		20	Corridor	partial
50		1		21	Corridor	partial
50		1		22	Corridor	partial
50		1		23	Corridor	partial
50		1		24	Corridor	partial
50		1		25	Corridor	partial
50		1		26	Corridor	partial
50		1		27	Corridor	partial
50		1		28	Corridor	partial
50		1		29	Corridor	partial
50		A		24	Corridor	full
50		A		25	Corridor	full
50		A		26	Corridor	full
50		A		23	Corridor	partial
50		A		39	Corridor	full
50		A		40	Corridor	full
50		A		26A	Corridor	full
50		A		27	Corridor	full
50		A		28	Corridor	full
50		A		29	Corridor	partial
50		A		29A	Corridor	full
50		A		31	Corridor	partial
50		A		35	Corridor	partial
50		A		36	Corridor	full
50		A		37	Corridor	full
50		A		38	Corridor	full
50		A		42	Corridor	partial
50		A		43	Corridor	partial
50		A		44	Corridor	partial
50		A		41	Corridor	partial
50		A		41A	Corridor	partial
50		5		2	Corridor	full
50		5		1	Corridor	full
50		5		3	Corridor	full
50		5		4	Corridor	full
50		2		1	Corridor	full
50		2		2	Corridor	full
50		2		3	Corridor	full



Tax Map	Insert	Section	Block #	Parcel #	District/ Ent. Corridor	Full/Partial *
50		2		3A	Corridor	full
50		A		33	Corridor	full
50		A		34	Corridor	full
50		A		47A	Corridor	partial
50		A		47	Corridor	partial
51		A		6	Corridor	full
51		A		6A	Corridor	full
51		A		5	Corridor	partial
51		A		4	Corridor	partial
51		A		7	Corridor	partial
51		A		7B	Corridor	full
51		A		8	Corridor	partial
51		A		9	Corridor	partial
51		A		6B	Corridor	partial
51		A		25	Corridor	partial
51		A		25A	Corridor	full
51		A		24	Corridor	full
51		A		23A	Corridor	partial
51		A		23	Corridor	partial
51		A		23B	Corridor	full
51		A		23D	Corridor	full
51		A		23C	Corridor	partial
51		A		21A	Corridor	full
51		A		21B	Corridor	full
51		A		22	Corridor	partial
51		A		21	Corridor	partial
51		A		20	Corridor	partial
51		A		19	Corridor	full
51		A		18	Corridor	full
51		A		29	Corridor	partial
51		A		29B	Corridor	partial
51		A		29C	Corridor	full
51		A		29D	Corridor	full
51		A		29E	Corridor	full
51		A		29F	Corridor	full
51		A		30	Corridor	full
51		A		28	Corridor	partial
51		A		17	Corridor	partial
51		A		16	Corridor	partial
51		A		32	Corridor	full
51		A		32A	Corridor	full
51		A		32B	Corridor	full
52		A		2	Corridor	partial
52		A		2A	Corridor	partial
52		A		1B	Corridor	full
52		A		1A	Corridor	full
52		A		1C	Corridor	full
52		A		1	Corridor	full
52		A		28	Corridor	full
52		A		26	Corridor	partial
52		A		3	Corridor	full



Tax Map	Insert	Section	Block #	Parcel #	District/ Ent. Corridor	Full/Partial *
52		A		4	Corridor	partial
52		A		4A	Corridor	full
52		A		5	Corridor	full
52		A		6	Corridor	full
52		A		6C	Corridor	full
52		A		6B	Corridor	full
52		A		6A	Corridor	full
52		A		8	Corridor	full
52		A		8A	Corridor	full
52		1		1	Corridor	full
52		1		2	Corridor	full
52		2		1	Corridor	full
52		2		2	Corridor	full
52		2		3	Corridor	partial
52		2		4	Corridor	partial
52		A		9A	Corridor	partial
52		A		9A3	Corridor	partial
52		A		9A1A	Corridor	partial
52		A		9A41	Corridor	partial
52		A		9A4	Corridor	full
52		A		9A6	Corridor	full
52		A		9A7	Corridor	full
52		A		9A8	Corridor	full
52		A		10	Corridor	full
52		A		2	Corridor	partial
52		A		7	Corridor	partial
52		A		7A	Corridor	partial
52		A		20	Corridor	partial
52		A		20A	Corridor	partial
52		A		11	Corridor	full
52		A		12	Corridor	full
52		A		12A	Corridor	full
52		A		13	Corridor	full
52		A		16A	Corridor	full
52		6		14G	Corridor	full
52				14H	Corridor	full
52				14J	Corridor	partial
52				14I	Corridor	partial
52		5		1	Corridor	partial
52		5		2	Corridor	partial
52		A		18	Corridor	partial
57		A		42	Corridor	partial
57		A		42A	Corridor	full
57		A		43	Corridor	full
57		A		44	Corridor	partial
57		A		44A	Corridor	partial
57		A		45	Corridor	full
57		A		46	Corridor	full
57		A		47	Corridor	full
57		A		48	Corridor	full
57		A		49	Corridor	partial

Cumberland County



Tax Map	Insert	Section	Block #	Parcel #	District/ Ent. Corridor	Full/Partial *
57		A		54	Corridor	full
57		A		54A	Corridor	full
57		A		55	Corridor	full
57		A		58	Corridor	full
57		A		59	Corridor	full
57		A		51	Corridor	partial
57		A		52	Corridor	partial
57		A		53	Corridor	partial
57		A		56	Corridor	full
57		A		60	Corridor	partial
57		A		61	Corridor	full
57		A		62	Corridor	partial
57		A		79	Corridor	partial
57		A		80	Corridor	partial
57		A		81	Corridor	full
57		A		82	Corridor	full
57		A		83	Corridor	full
57		A		86A	Corridor	full
57		A		87	Corridor	full
57		A		88	Corridor	full
57		A		89	Corridor	full
57		A		90	Corridor	full
57		A		84	Corridor	partial
57		A		85	Corridor	full
57		A		86	Corridor	full
57		2		41	Corridor	partial
57		2		42	Corridor	partial
57		2		43	Corridor	partial
57		2		44	Corridor	partial
57		2		45	Corridor	partial
57		2		46	Corridor	partial
57		1		2	Corridor	full
57		1		2A	Corridor	partial
57		1		3	Corridor	partial
57		1		4	Corridor	partial
57		1		5	Corridor	partial
57		1		6	Corridor	partial
57		1		7	Corridor	partial
57		1		8	Corridor	partial
57		1		9	Corridor	partial
57		1		10	Corridor	partial
57		1		11	Corridor	partial
57		1		12	Corridor	partial
58		A		1	Corridor	full
58		3		39	Corridor	partial
58		3		40	Corridor	partial
58		A		1B	Corridor	partial
58		A		1B1	Corridor	partial
58		A		1B2	Corridor	partial
58		A		1A	Corridor	partial
58		A		32	Corridor	partial



Tax Map	Insert	Section	Block #	Parcel #	District/ Ent. Corridor	Full/Partial *
58		2		4	Corridor	partial
58		2		5	Corridor	partial
58		2		A	Corridor	partial
58		2		6	Corridor	partial
57	A1	A		22	District	partial
57	A1			23	District	full
57	A1			25	District	full
57	A1			27	District	full
57	A1			26	District	full
57	A1			28	District	full
57	A1			30	District	partial
57	A1			31	District	full
57	A1			32	District	full
57	A1			17	District	full
57	A1			15	District	full
57	A1			14	District	full
57	A1			13	District	full
57	A1			12	District	full
57	A1			12A	District	full
57	A1			11	District	full
57	A1			10	District	full
57	A1			9	District	full
57	A1			8	District	full
57	A1			7	District	full
57	A1			7A	District	full
57	A1			6	District	full
57	A1			5	District	full
57	A1			4	District	full
57	A1			4A	District	full
57	A1	A1		3	District	full
57	A1	A		33	District	full
57	A1	A		34	District	full
57	A1	A		35	District	full
57	A1	A		36	District	full
57	A1	A		37	District	full
57	A1	A		38	District	full
57	A1	A		39	District	full
57	A1	1		4	District	full
57	A1	1		5	District	full
57	A2	A		19	District	full
57	A2	A		15	District	full
57	A2	A		14	District	full
57	A2	A		13	District	full
57	A2	A		21	District	full
57	A2	A		22	District	full
57	A2	A		23	District	full
57	A2	A		24	District	full
57	A2	A		26	District	full
57	A2	A		29	District	full
57	A2	A		28	District	full
57	A2	A		27	District	full



Tax Map	Insert	Section	Block #	Parcel #	District/ Ent. Corridor	Full/Partial *
57	A2	2		1C	District	full
57	A2	2		1A	District	full
57	A2	2		1	District	full
57	A2	2		2	District	full
57	A2	2		3	District	full
57	A2	2		4	District	full
57	A2	2		5	District	full
57	A2	A		30	District	full
57	A2	A		31	District	full
57	A2	A		32	District	full
57	A2	A		33	District	full
57	A2	A		34	District	full
57	A2	A		34A	District	full
57	A2	A		34B	District	full
57	A2	A		34C	District	full
57	A2	A		36	District	full
57	A2	A		37	District	full
57	A2	A		37B	District	full
57	A2	A		38	District	full
57	A2	A		38A	District	full
57	A2	A		39	District	full
57	A2	A		40	District	full
57	A2	A		41	District	full
57	A2	A		42	District	full
57	A2	A		42A	District	full
57	A2	A		43	District	full
57	A2	A		44	District	full
57	A2	A		45	District	full
57	A2	A		9D	District	full
57	A2	A		12	District	full
57	A2	A		10	District	full
57	A2	A		11	District	full
57	A2	A		9A	District	full
57	A2	A		8	District	full
57	A2	A		4	District	full
57	A2	A		3	District	full
57	A2	A		1	District	full
57	A2	A		5	District	full
57	A2	A		6	District	full
57	A2	A		7	District	full
57	A2	1	1	1	District	full
57	A2	1	1	2	District	full
57	A2	1	1	3	District	full
57	A2	1	1	4	District	full
57	A2	1	1	5	District	full
57	A2	1	1	6	District	full
57	A2	1	1	7	District	full
57	A2	1	1	8	District	full
57	A2	1	1	9	District	full
57	A2	1	1	10	District	full
57	A2	1	1	11	District	full



Tax Map	Insert	Section	Block #	Parcel #	District/ Ent. Corridor	Full/Partial*
57	A2	1	1	12	District	full
57	A2	1	1	13	District	full
57	A2	1	1	14	District	full
57	A2	1	1	15	District	full
57	A2	1	1	16	District	full
57	A2	1	2	1	District	full
57	A2	1	2	2	District	full
57	A2	1	2	3	District	full
57	A2	1	2	4	District	full
57	A2	1	2	5	District	full
57	A2	1	2	6	District	full
57	A2	1	2	7	District	full
57	A2	1	2	8	District	full
57	A2	1	2	9	District	full
57	A2	1	2	10	District	full
57	A2	1	2	11	District	full
57	A2	1	2	12	District	full
57	A2	1	2	13	District	full
57	A2	1	2	14	District	full
57	A2	1	2	15	District	full
57	A2	1	2	16	District	full
57	A2	1	3	1	District	full
57	A2	1	3	2	District	full
57	A2	1	3	3	District	full
57	A2	1	3	4	District	full
57	A2	1	3	5	District	full
57	A2	1	3	6	District	full
57	A2	1	3	7	District	full
57	A2	1	3	8	District	full
57	A2	1	3	9	District	full
57	A2	1	3	10	District	full
57	A2	1	3	11	District	full
57	A2	1	3	12	District	full
57	A2	1	3	13	District	full
57	A2	1	3	14	District	full
57	A2	1	3	15	District	full
57	A2	1	3	16	District	full
57	A2	1	4	1	District	full
57	A2	1	4	2	District	full
57	A2	1	4	3	District	full
57	A2	1	4	4	District	full
57	A2	1	4	5	District	full
57	A2	1	4	6	District	full
57	A2	1	4	7	District	full
57	A2	1	4	8	District	full
57	A2	1	5	A	District	full
57	A2	1	5	B	District	full
57		A		100	District	full
57		A		41	District	full
57		A		39	District	full
57		A		37	District	full

Cumberland County



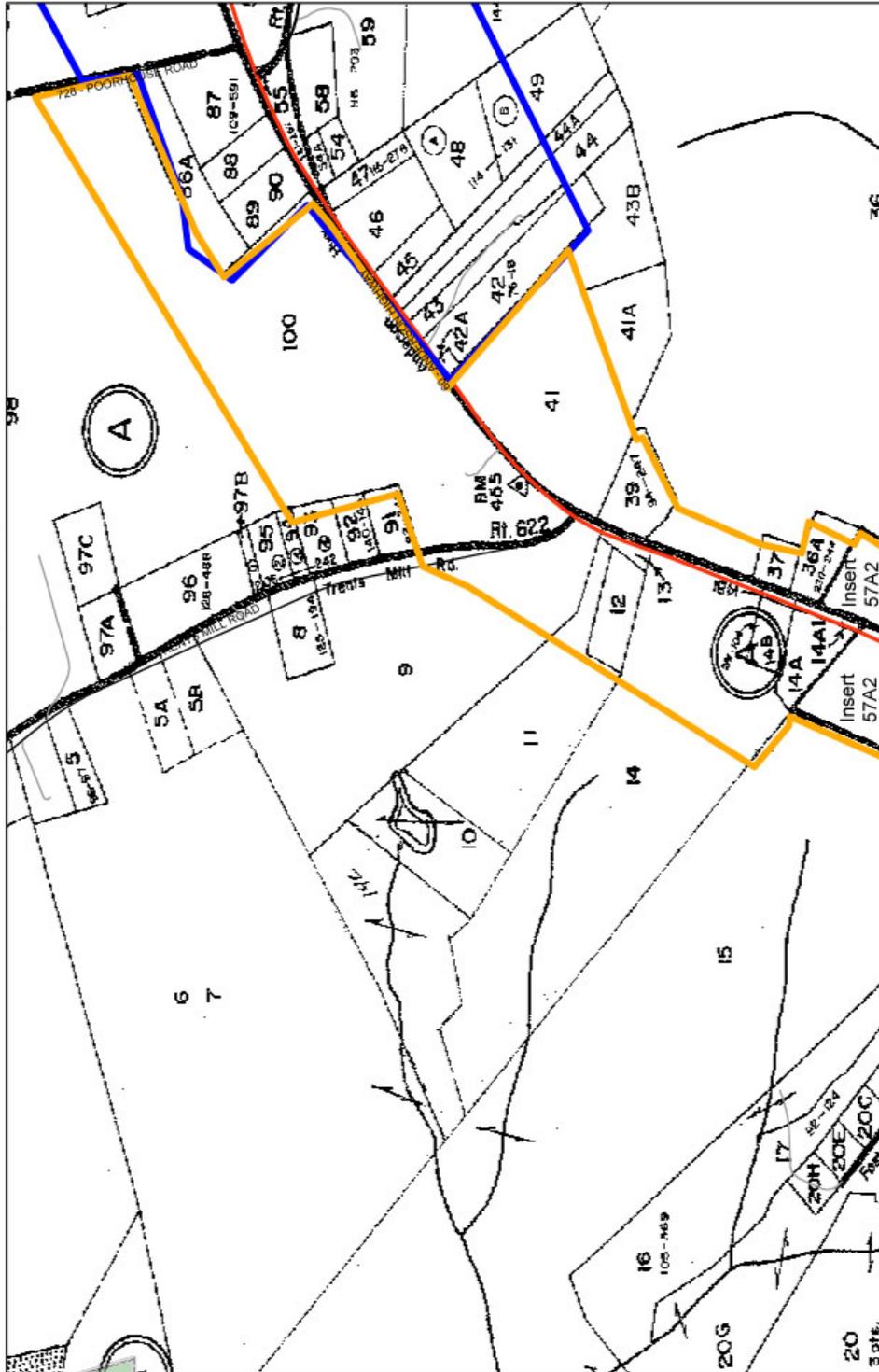
Tax Map	Insert	Section	Block #	Parcel #	District/ Ent. Corridor	Full/Partial*
57		A		36	District	partial
57		A		9	District	partial
57		A		11	District	partial
57		A		12	District	full
57		A		13	District	full
57		A		14	District	partial
57		A		14B	District	full
57		A		14B1	District	full
57		A		29	District	full
57		A		36A	District	full
57		A		14A	District	full
57		A		14A1	District	full
57		A		23A	District	full
57		A		24	District	partial
57		A		26	District	partial



Tax Parcel Maps

Tax Map 57

Courthouse Historic District Boundaries Cumberland County, Virginia



Legend

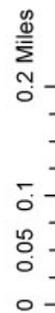
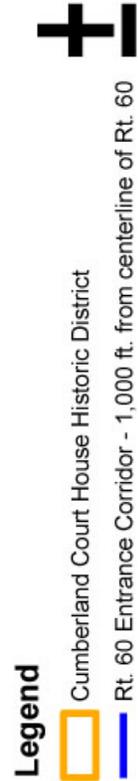
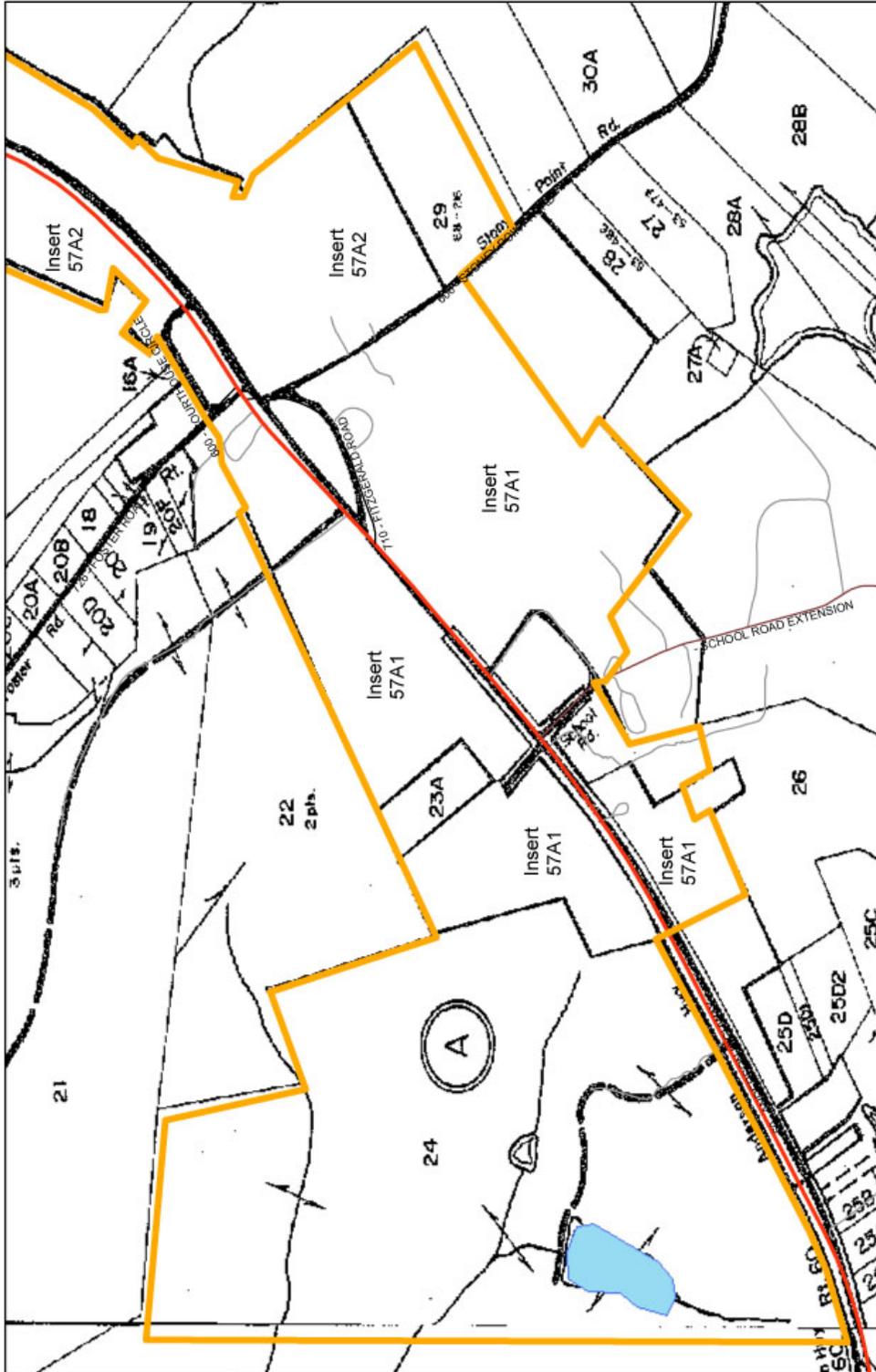
-  Cumberland Court House Historic District
-  Rt. 60 Entrance Corridor - 1,000 ft. from centerline of Rt. 60





Tax Map 57

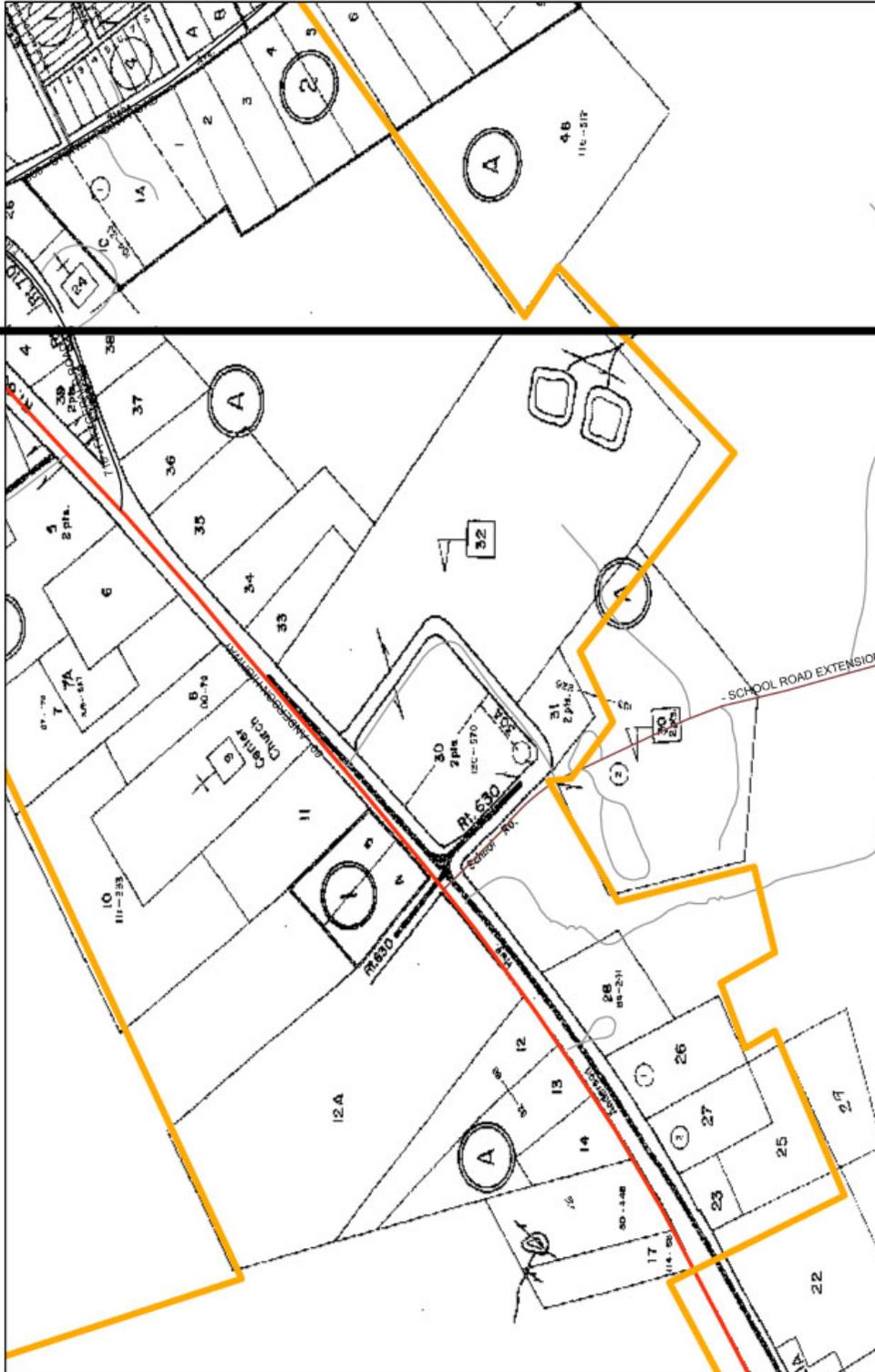
Courthouse Historic District Boundaries Cumberland County, Virginia





Tax Map 57

Courthouse Historic District Boundaries - Tax Map Inserts Cumberland County, Virginia



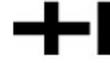
Insert 57A1

Insert 57A2

Legend

 Cumberland Court House Historic District

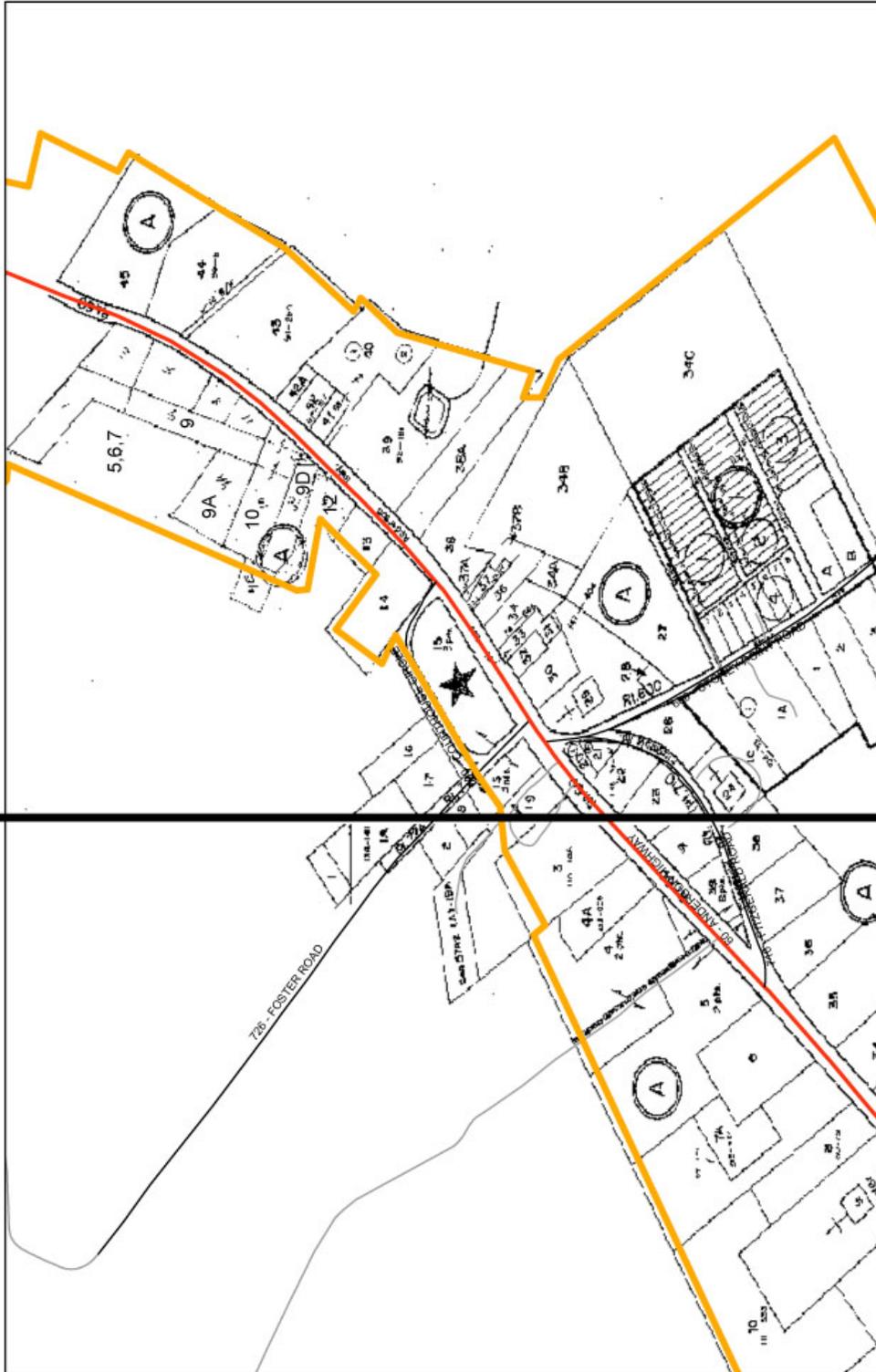
 Rt. 60 Entrance Corridor - 1,000 ft. from centerline of Rt. 60





Tax Map 57

Courthouse Historic District Boundaries - Tax Map Inserts Cumberland County, Virginia



Insert 57A1

Insert 57A2

0 0.02 0.05 0.1 Miles

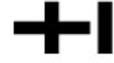
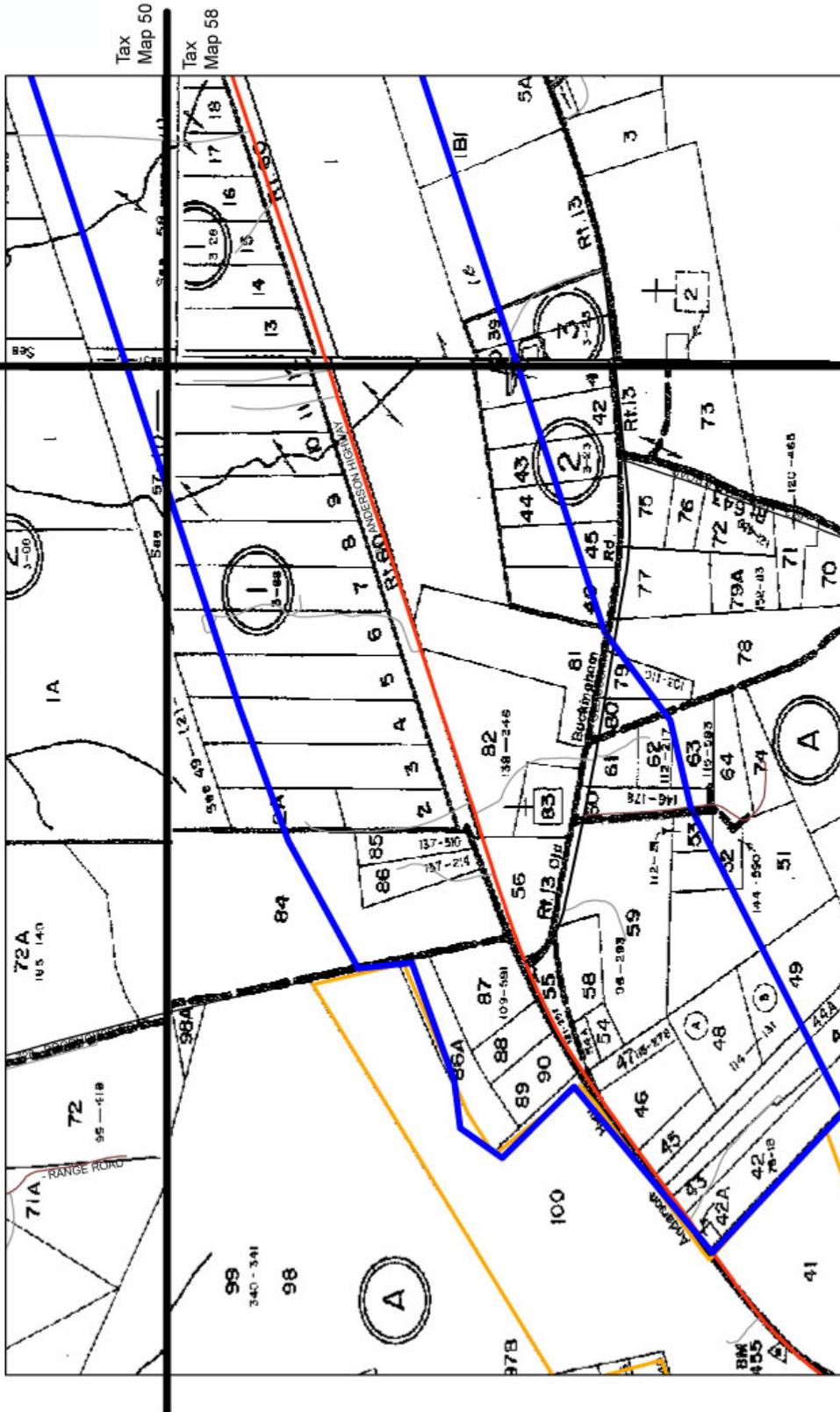
Legend

- Cumberland Court House Historic District
- Rt. 60 Entrance Corridor - 1,000 ft. from centerline of Rt. 60



Tax Map 50 & 58

Proposed Rt. 60 Entrance Corridor Boundaries Cumberland County, Virginia



Tax Map 49 Tax Map 50 Tax Map 51 Tax Map 55 Tax Map 57 Tax Map 58

Legend

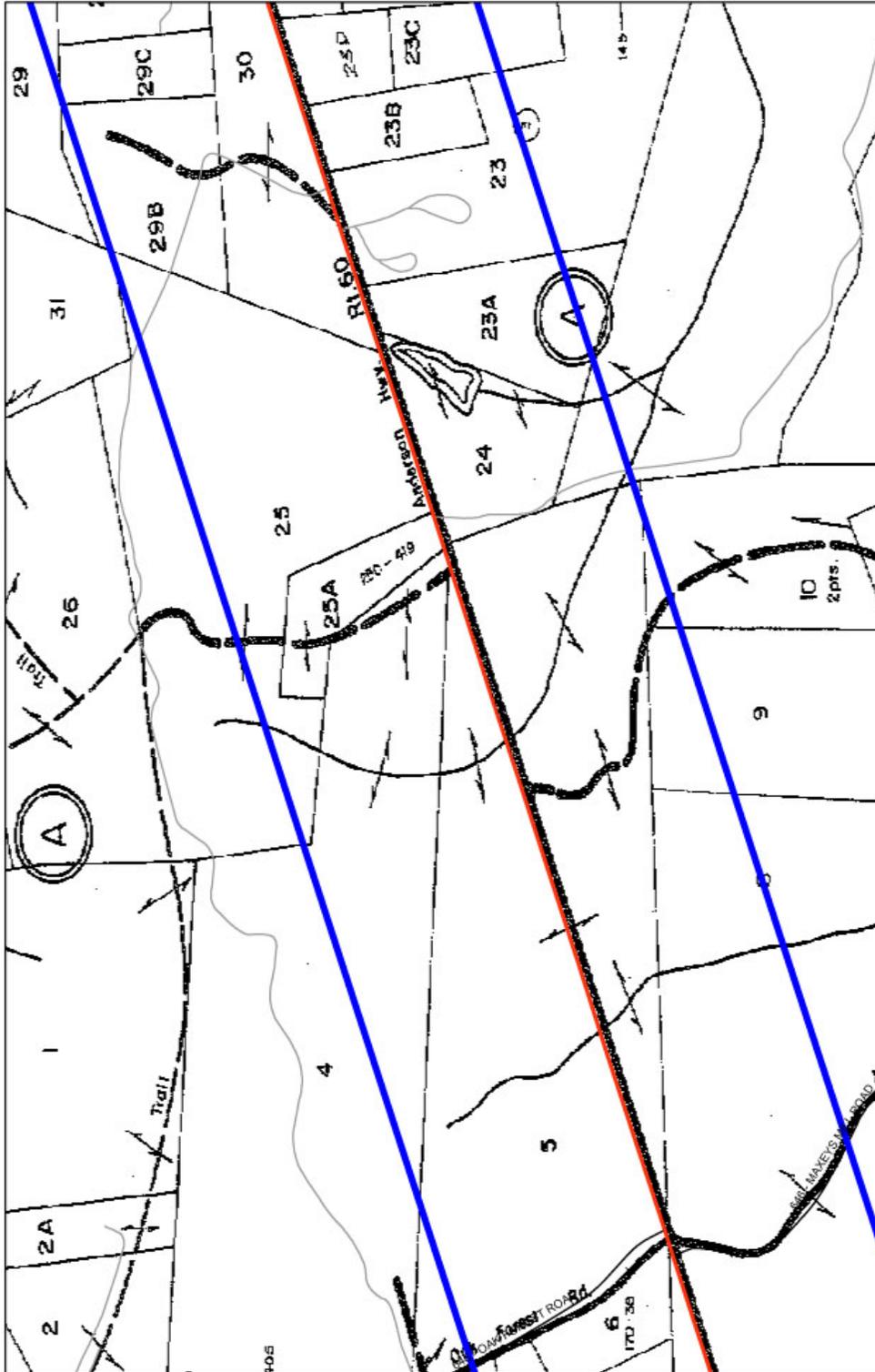
- Rt. 60 Entrance Corridor - 1,000 ft. from centerline of Rt. 60
- Cumberland Court House Historic District





Tax Map 51

Proposed Rt. 60 Entrance Corridor Boundaries Cumberland County, Virginia

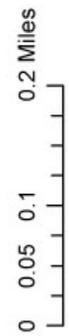


Tax
Map 51

Legend

 Rt. 60 Entrance Corridor - 1,000 ft. from centerline of Rt. 60

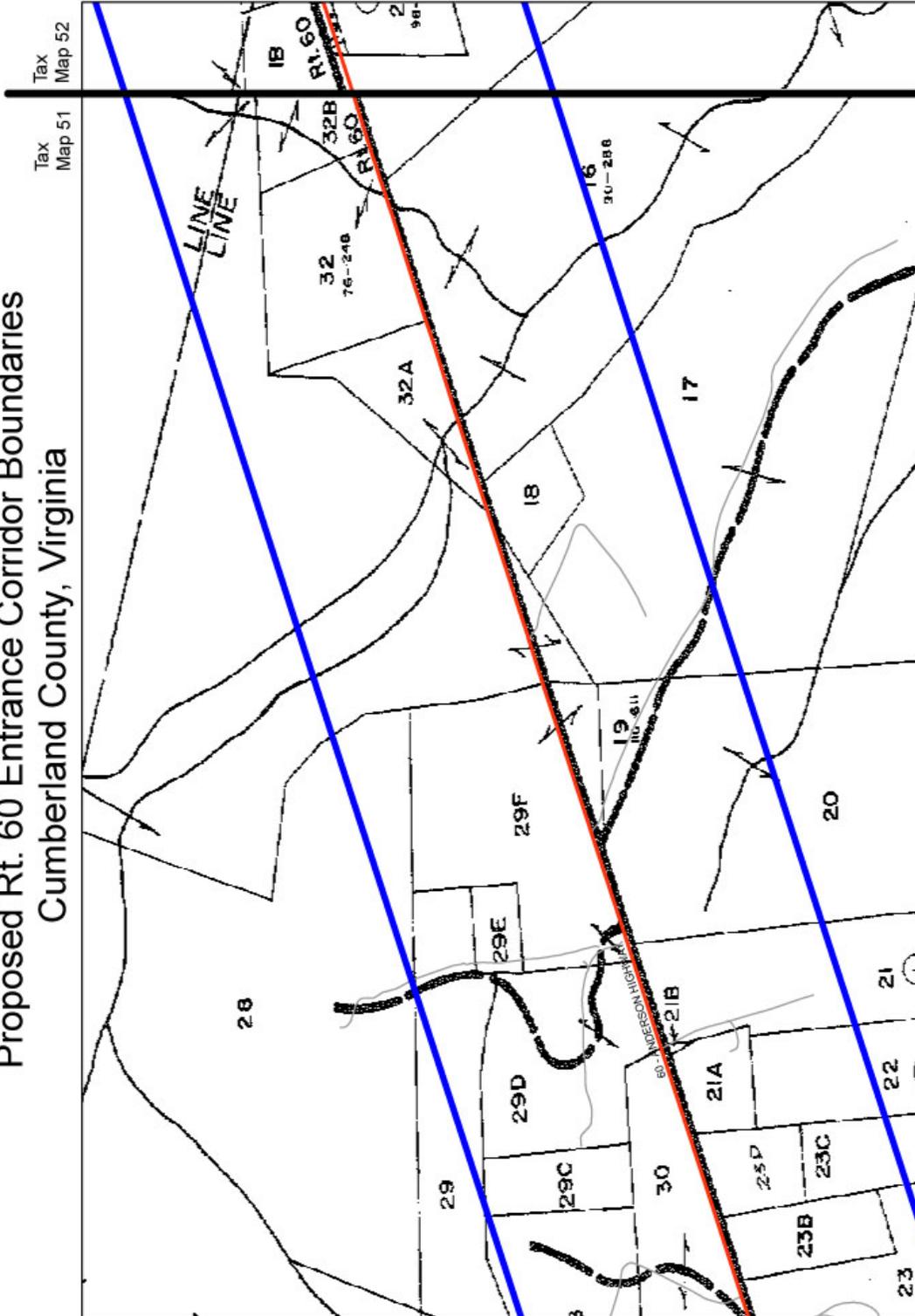
 Cumberland Court House Historic District





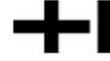
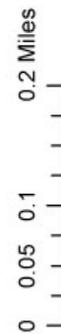
Tax Map 51 & 52

Proposed Rt. 60 Entrance Corridor Boundaries Cumberland County, Virginia



Legend

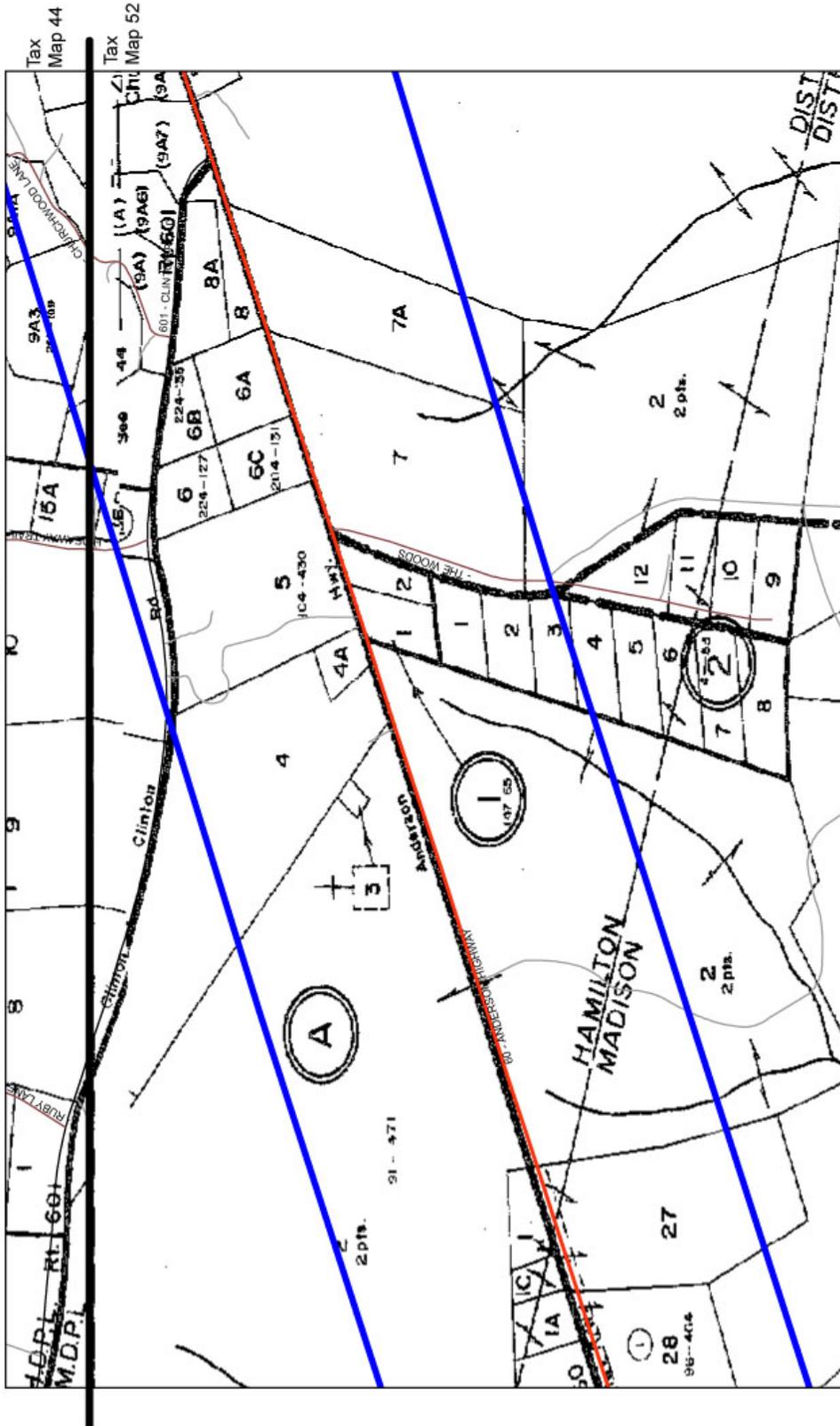
-  Rt. 60 Entrance Corridor - 1,000 ft. from centerline of Rt. 60
-  Cumberland Court House Historic District





Tax Map 44 & 52

Proposed Rt. 60 Entrance Corridor Boundaries Cumberland County, Virginia



Legend

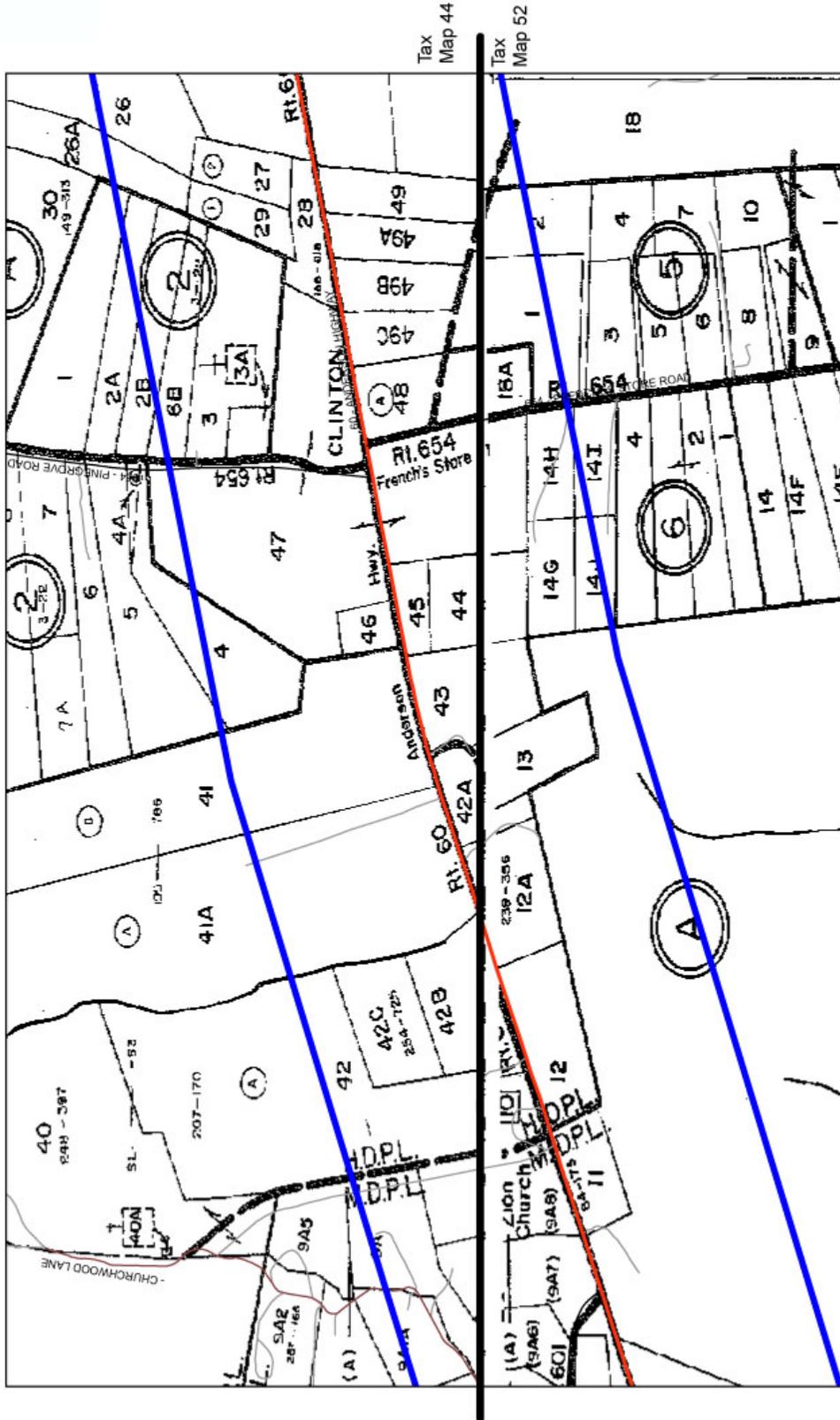
-  Rt. 60 Entrance Corridor - 1,000 ft. from centerline of Rt. 60
-  Cumberland Court House Historic District





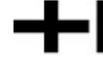
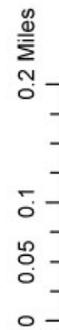
Tax Map 44 & 52

Proposed Rt. 60 Entrance Corridor Boundaries Cumberland County, Virginia



Legend

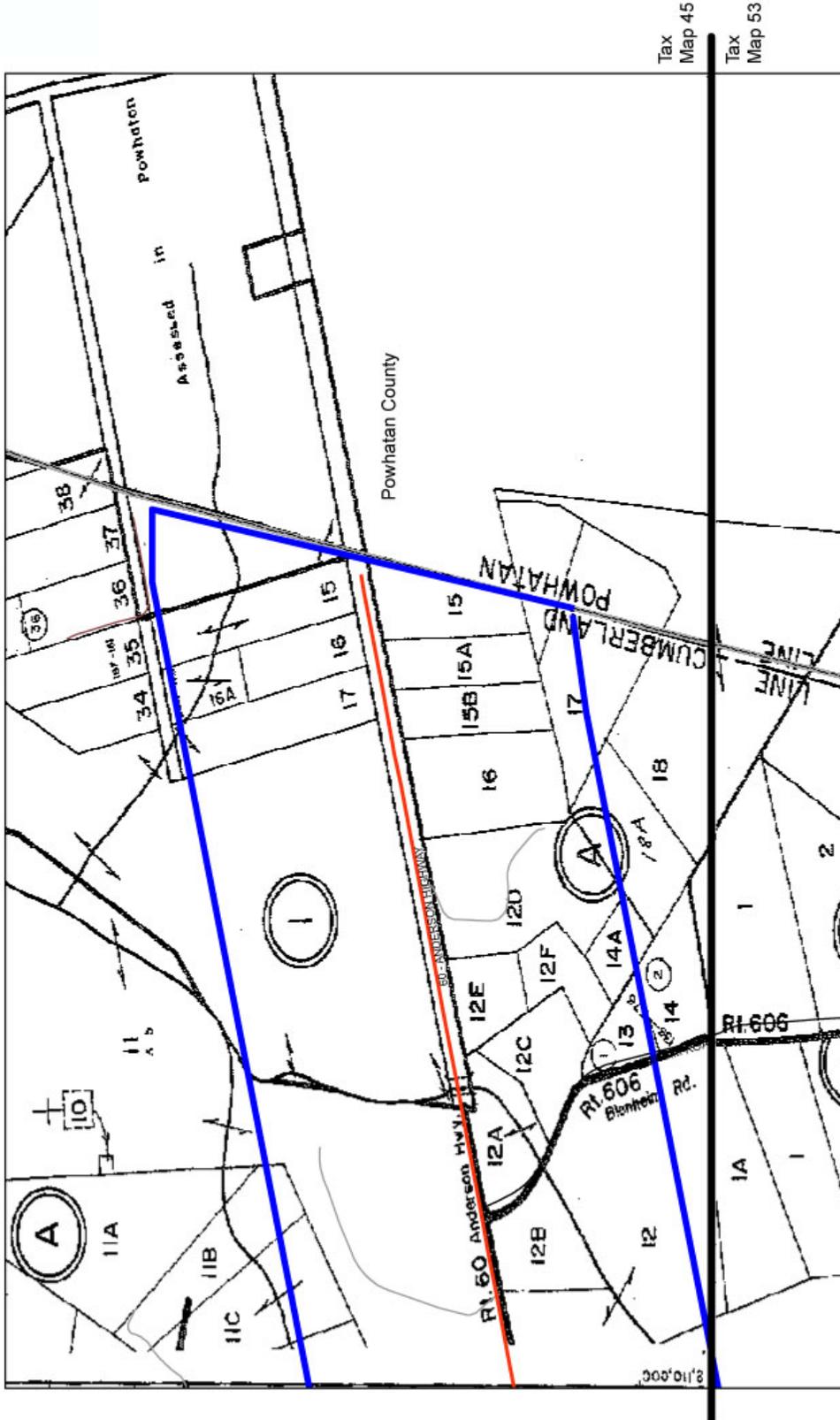
-  Rt. 60 Entrance Corridor - 1,000 ft. from centerline of Rt. 60
-  Cumberland Court House Historic District





Tax Map 45 & 53

Proposed Rt. 60 Entrance Corridor Boundaries Cumberland County, Virginia



Legend

-  Rt. 60 Entrance Corridor - 1,000 ft. from centerline of Rt. 60
-  Cumberland Court House Historic District





E. Glossary of Architectural Terms



Accessory Building

ACCESSORY BUILDING: A secondary building on the same plot as the main building whose intended design is for a supplemental use, including, but not limited to: a garage or storage shed.

ADAPTIVE USE: The alteration, restoration, and or renovation of an existing building for the purpose of creating a new use for the building other than its original or historic use.

ADDITION: Any living space outside the house's original walls, including porch, wing, or ell, adding to the total height or floor area, and has at least partial solid walls and requires a continuous foundation.

ALTERATION: Any change made to a building's original structure or systems that do not increase the overall dimensions of the building.

APEX: The highest point or peak of any structure.

ARCH: The curved or pointed top on a wall, door or open entryway. Arches come in many different shapes and styles, often supported by columns or piers.

ARCHITECTURAL SIGNIFICANCE: Importance of a property based on physical aspects of its design, materials, form, style or workmanship and recognized by National Register Criterion C.

AREA OF SIGNIFICANCE: The aspect of historic development in which a property made contributions for which it meets the National Register Criteria, such as architecture, agriculture, commerce, community planning and development, politics/government, religion, etc.

ASSOCIATION: Link of a historic property with a historic event, activity or person. Also, the quality of integrity through which a historic property is linked to a particular past time and place.

ASYMMETRICAL: Not symmetrical.

AWNING: A roof-like cover of metal or canvas extending over a window or doorway to provide environmental protection.

BALCONY: A platform projecting from a wall, enclosed by a railing or balustrade, supported on brackets or cantilevered.

BALUSTER: A short post or pillar in a series that supports a rail, forming a balustrade.

Glossary definitions are in part based on *Historic Architecture Sourcebook* by Cyril M. Harris, Ed., New York: McGraw-Hill Book Company, 1977.



Baluster

BAY: Any number of principal divisions of a wall, roof, or other parts of a building marked off by vertical or transverse supports. Usually refers to the width or depth of a building.

BAY, BOW AND ORIEL WINDOWS: These windows project from the front or side of a house. Oriel windows generally project from an upper story, supported by a bracket. Bay windows are angled projections that rise up from the ground on the first floor. Bow windows are rounded projections, often formed of the window glass itself.

BEAD MOLDING: A small, cylindrical molding enriched with ornaments resembling a string of beads.

BRACKET: A small supporting piece of wood or stone, often formed of scrolls or other decorative shapes, designed to bear a projected weight such as a roof edge or eaves.



Bracket

BRICK VENEER, BRICK FACING: A facing of brick laid against a wall and not structurally bonded to the wall.

BUILDING: A resource created principally to shelter any form of human activity, including, but not limited to: a house, barn, meat house, bank, store, church, town hall, courthouse, jail, library, garage, or hotel.

BULK: The three-dimensional size or mass of a building.

CANTILEVER: A horizontal projection from a building, such as a step, balcony, beam or canopy, that is without external bracing and is supported only at one end, appearing to be self supporting.

CAPITAL: The head or crowning feature of a column.

CASEMENT WINDOW: A metal or wooden window that opens outward or inward on hinges fixed to its vertical edge.

CLAPBOARD: Thin overlapping horizontal boards that are thicker along the lower edge than along the upper and cover the wood-framed wall of a building;

COLUMN: A cylindrical vertical support, usually supporting weight from above.

CONCRETE: Cement mixed with coarse and fine aggregates (pebbles, crushed stone, or brick), sand and water in specific proportions. There are three types of concrete: pre-cast reinforced and pre-stressed.



Columns



CONTRIBUTING BUILDING: A building, which has historic significance by reason of type, period, design, style, workmanship, form, materials, architectural details, or historic association to a significant event or person or has or may yield information important to prehistory or history.

CONTRIBUTING PROPERTIES: Parcels of land containing a contributing building, structure, site or object adding to its historic significance and so designated on the inventory map and inventory of contributing properties and non-contributing properties through an architectural survey and historic district designation. The designated contributing properties, which may or may not be individually listed in the Virginia Landmarks Register or National Register of Historic Places, are those properties which by reason of type, period, design, style, workmanship, form, materials, architectural details, or have historic association to a significant event or person, or have or may yield information important to prehistory or history and relation to surrounding properties contribute favorably to the general character of the part of the Historic District in which they are located.

CONTRIBUTING RESOURCE: A building, site, structure, district or object adding to the historic associations, historic architectural qualities or archaeological values for which a property is significant because it was present during the period of significance, relates to the documented significance of the property and possesses historic integrity or is capable of yielding important information about the period; or it independently meets the National Register Criteria.

CORNICE: Any projecting ornamental molding that finishes or crowns the top of a building, wall, or arch.

CORNICE RETURN: A cornice that partially “returns” into the gable formed by a peak roof.



Cornice

CORRIDOR DISTRICT: A geographical area adjacent to arterial streets or highways along a significant route of tourist access to the area or to a designated historic landmark, buildings, structures or districts therein or in a neighboring historic district.

CROSS GABLED ROOFS: A roof type the consists of two or more gabled roof lines that intersect on a building.

CULTURAL LANDSCAPE: A geographic area, including both cultural and natural features, associated with an event, person, activity, or design style that is significant in the history of the locality, state or the nation. Historic sites, landscapes designed by a landscape architect, master gardener, architect or horticulturist and vernacular landscapes developed by human use and activities are types of cultural landscapes.



CUPOLA: A dome, especially a small dome on a circular or polygonal base crowning a roof or turret. Typically for decorative purposes in modern homes. Older cupolas may be accessible on the building interior by stairs.

DENTILS: A series of small decorative blocks forming a molding in an entablature.

DEPENDENCY: A subsidiary building adjoining a principal structure.

DESIGN: A quality of integrity applying to the elements that creates the physical form, plan, space, structure and style of a property.

DISTRICT: One of the five resource types, a concentration or continuity of sites, buildings, structures or objects united historically or aesthetically by plan or physical development.

DORMER WINDOW: A window placed vertically in a sloping roof that has a roof of its own, often gabled, hipped or shed.



Dormer Window

DOUBLE-HUNG WINDOW: A window having two vertically sliding sashes, each in separate grooves or tracks closing a different portion of the window.

EAVES: The projecting overhang at the edge of a roof.

ELEVATION: an accurate drawing or image of one side of a building that represents its true dimensions in plan perpendicular to the line of sight.



Eaves

ELIGIBILITY: The ability of a property to meet the National Register of Historic Places Criteria for evaluation.

FAÇADE: The primary elevation of a building often distinguished by its architectural ornament.

FACING: A covering applied to the outer surface of a building, also called sheathing or cladding.

FANLIGHT: A window, semicircular or semi-elliptical, sometimes with decorative tracery, often placed over a door.

FASCIA: A horizontal piece (such as a board) covering the joint between the top of a wall and the projecting eaves; also called fascia board.

FEELING: A quality of integrity through which a historic property evokes the aesthetic or historic sense of past time and place.



FENESTRATION: The design, proportioning, and disposition of window openings in a building.

FLAT ARCH: An arch with a horizontal top and bottom, formed with wedge-shaped stones or bricks. Also referred to as a jack arch or straight arch.

FIELDSTONE: Rough, irregularly shaped pieces of rock that can be used to construct a building, make a walkway, line a garden bed, etc.

FLUTING: Shallow, concave grooves running vertically on the shaft of a column, pilaster or other surface.

FRAME CONSTRUCTION: Any building primarily supported by wood structural members.

FRENCH DOOR: A tall casement window-like door with full-length panes of glass. Typically multi-light, often installed in pairs; two-leaved doorway.

FRIEZE: A decorative horizontal band located just below the cornice.

GABLE: The vertical triangular shape of a building wall above the cornice height formed by two sloping roof planes.

GAMBREL ROOF: A roof with one low, steep slope and an upper, less-steep one on each of its two sides, giving the look of a traditional American hay barn.



Gable

HEADER: A brick laid in a wall so that only its end appears on the face of the wall. To add a varied appearance to brickwork, headers are alternated with “stretchers,” bricks laid full length on their sides.

HIPPED ROOF: A roof with sloped edges on all four sides.

HISTORIC AREA: An area containing one or more buildings or places in which historic events occurred, or having special public value because of notable architectural, archaeological or other features relating to the cultural or artistic heritage of the community, of such significance as to warrant conservation and preservation.

HISTORIC CHARACTER: The physical appearance of a property as it has evolved over time. That is representative of its period of construction, in some cases including changes that have occurred. The qualities of a property conveyed by its materials, features, spaces, and finishes are referred to as character defining.



HISTORIC CONTEXT: An organizing construct for interpreting history that groups information about historic properties which share a common theme, common geographical location and common time period. The development of historic contexts is a foundation for decisions about the planning, identification, evaluation, registration and treatment of historic properties, based upon comparative significance.

HISTORIC DISTRICT: Any geographical area delineated by the governing body and consisting of public or private property, containing a significant concentration, linkage or continuity of contributing properties containing contributing building(s), structure(s), site(s) or object(s), united historically or aesthetically by plan or physical development and having a common historical, architectural, archaeological or cultural heritage being of such interest and significance as to warrant conservation and preservation.

HISTORIC LANDMARK: A building, structure, district, site or object determined to have historical, architectural or archaeological statewide or national significance listed on the Virginia Landmarks Register.

HISTORIC PROPERTY: The National Historic Preservation Act (NHPA) defines a historic property as “any prehistoric or historic district, site, building, structure, or object included in, or eligible for inclusion on the National Register”; such term includes artifacts, records, and remains which are related to such district, site, building, structure, or object.

HISTORIC SIGNIFICANCE: Importance for which a property has been evaluated and found to meet the National Register Criteria.

I-House: A style of vernacular architecture that is typically one room deep and at least two rooms wide, typically the wide part of the house set parallel to the road.

IMPROVEMENT: All additions, alterations, decks, and major landscaping which alters yard drainage.

INFILL HOUSING: A new structure built in a block or existing row of buildings.

IN KIND: Replacement or repair of building components matching the original components in material, size, profile, texture, and color.

INTEGRITY: The authenticity of a property’s historic identity, evidenced by the survival of physical characteristics that existed during the property’s historic or prehistoric period.

LATTICE: A structure of crossed strips, often wood, that creates a grid pattern.

LEADED WINDOW: A window with leaded lights.



LEVEL OF SIGNIFICANCE: The geographical level – local, state or national – at which a historic property has been evaluated and found to be significant.

LIGHT: A pane of glass installed in a window sash.

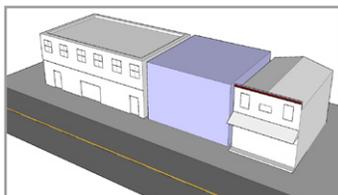
LINTEL: A horizontal member such as a framing component or stone bridging an opening, most often a door.

LOCATION: A quality of integrity retained by a historic property existing in the same place as it did during the period of significance.

MAINTENANCE: In architecture, all those activities necessary to prolong the life of an historic property.

MASS: Bulk or three-dimensional size of an object.

MASSING: The combination of several masses to create a building volume; organization of the shape of a building, as differentiated from wall treatment, fenestration, etc.



Mass

MATERIALS: A quality of integrity applying to the physical elements that were combined or deposited in a particular pattern or configuration to form a historic property.

MOLDING: Horizontal bands having either rectangular or curved profiles, or both, used for transition or decorative relief.

MULLION: A large vertical member separating two or more windows or doors.

MUNTIN: The members used to create the smaller window panes in a window.

NATIONAL HISTORIC LANDMARK (NHL): A historic property evaluated and found to have significance at the national level and designated as such by the Secretary of the Interior.

NATIONAL REGISTER OF HISTORIC PLACES CRITERIA: The established criteria for evaluating the eligibility of properties for inclusion in the National Register of Historic Places (which is the same criteria used for inclusion in the Virginia Landmarks Register). Specifically, The quality of significance in American history, architecture, archaeology, engineering and culture is present in districts, sites, buildings, structures and objects that possess integrity of location, design, setting, materials, workmanship, feeling and association, and:



- A. That are associated with events that have made a significant contribution to the broad patterns of our history; *or*
- B. That are associated with the lives of persons significant in our past; *or*
- C. That embody the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; *or*
- D. That have yielded, or may be likely to yield, information important in prehistory or history.

NATIONAL REGISTER OF HISTORIC PLACES: The official federal list of districts, sites, buildings, structures and objects significant in American history, architecture, archaeology, engineering or culture.

NATIONAL SIGNIFICANCE: The importance of a property to the history of the United States as a nation.

NON-CONTRIBUTING BUILDING: A building that does not add to the historic architectural qualities, historic associations or archaeological values for which a property is significant because it was not present during the period of significance or does not relate to the documented significance of the district; or due to alterations, disturbances, additions or other changes, it no longer possesses historic integrity or is capable of yielding important information about the period; or it does not independently meet the National Register Criteria.

NON-CONTRIBUTING PROPERTY: A property that does not add to the historic architectural qualities, historic associations or archaeological values for which a resource is significant because it was not present during the period of significance or does not relate to the documented significance of the district; or due to alterations, disturbances, additions or other changes, it no longer possesses historic integrity or is capable of yielding important information about the period; or it does not independently meet the National Register Criteria.

NON-CONTRIBUTING RESOURCE: A building, site, structure, district or object that does not add to the historic architectural qualities, historic associations or archaeological values for which a resource is significant because it was not present during the period of significance or does not relate to the documented significance of the district; or due to alterations, disturbances, additions or other changes, it no longer possesses historic integrity or is capable of yielding important information about the period; or it does not independently meet the National Register Criteria.



NORMAL REPAIR AND ROUTINE MAINTENANCE: For the purpose of maintaining the existing condition of the building, structure, site or object, normal repair and routine maintenance involves the repair of existing materials and features with equivalent material through stabilization, consolidation and conservation of historic materials, features and workmanship when the physical condition of these character-defining features has deteriorated. For example, routine maintenance includes repainting using a different color, but does not include the initial painting of masonry surfaces on any contributing resource not painted previously.

OBJECT: The resource term used to distinguish from buildings and structures those constructions, which are primarily artistic in nature or are relatively small in scale and simply constructed. Although it may be, by nature or design, movable, an object is associated with a specific setting or environment, i.e., sculpture, statuary, monuments, boundary markers, fountains.

PANE: A flat sheet of glass cut to size for glazing use in a window; also called a light or a window light.

PARAPET: A low wall placed to protect any spot where there's a sudden drop, such as at the edge of a roof, terrace or porch.

PATIO: Paved recreation area, usually at the rear of a home.

PEDESTAL: In classical architecture, the base supporting a column or colonnade.

PEDIMENT: A low-pitched gable above a portico, colonnade, wall, or aperture.

PERIOD OF SIGNIFICANCE: The span of time in which a property attained the significance for which it meets the National Register of Historic Places Criteria.

PIER: An upright, freestanding masonry support. Often used to support porches.

PILASTER: A shallow post or a rectangular column-like projection.

PICKET FENCE: a fence formed by a series of vertical pales, posts or stakes and joined together by horizontal rails, with open space between the pickets.

PICTURE WINDOW: A large, fixed, single-pane window.

PITCH: The degree of a roof's slope.



Object



PLAN: A two-dimensional view of a building, or horizontal section of it, seen from above; hence, a precise drawing showing the arrangement of design, including wall openings and dimensions.

PORCH: A structure attached to a building to shelter an entrance usually roofed and generally open sided.

PORTICO: A porch consisting of a roof supported by columns.

PREFABRICATION: The manufacturing of whole buildings or components cast in a factory or on site before being placed in position.

PRESERVATION: The process of determining what to keep from the present for the future and applying measures to sustain the existing form, integrity, type, style, design, details, workmanship and materials of a historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction.

PROPORTION: The relation of one dimension to another; usually described as a numerical ratio; in architecture, proportions determine the creation of visual order through coordination of shapes in a design.

QUOINS: The dressed stones at the corners of buildings, usually lay so their faces are alternately large and small.

RATIO OF SOLIDS TO VOIDS: The percentage of total façade area given to openings (windows, doors, arches, etc.), which affects the appearance and scale of a building.

REHABILITATION: The act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

REINFORCED CONCRETE: Steel rods are inserted in concrete beams to help them withstand longitudinal stress without collapsing. This development has allowed the construction of very large structures using concrete beams.

REPAIR: To restore something broken or damaged to good condition; the process of mending something, or the job that is done in order to achieve this.

REPOINT: To remove and replace old mortar from brickwork or other masonry construction.



Porch



RESOURCE: Any building, structure, site, district or object that is part of or constitutes a historic property.

RESTORATION: The act or process of accurately recovering the form, features and details of an historic property as it appeared at a particular period of time by means of the removal of later work or by the replacement of missing earlier work.

RETROFIT: To refit original parts of a building with new parts.

RHYTHM: In architecture, the repeated pattern of building elements such as doors and windows.

RIDGE, RIDGE LINE: The horizontal line formed by the juncture of two sloping roof planes.

RUBBLE: Rough stones of irregular shapes and sizes; used in rough, uncoursed work in the construction of walls, foundations, and paving.

SASH WINDOW: A window formed with sashes, or sliding frames running in vertical grooves.

SCALE: The relationship between the apparent size of a human being; in a drawing, a system of proportion by which precise magnitudes represent larger magnitudes, usually the life-size dimensions of a building.

SEGMENTAL ARCH: An arch in which the arched portion is less than semi-circular.

SETBACK: The distance between a building and the street.

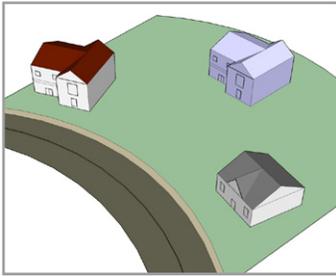
SETTING: A quality of integrity applying to the physical environment of a historic property.

SITE: One of the five resource types, being the location of a significant event, a prehistoric or historic occupation or activity, or a building or structure, whether standing, ruined or vanished, where the location itself possesses historic, cultural, or archaeological value regardless of the value of any existing or non-existing structure.

SITE IMPROVEMENTS: Structural changes to the grounds of a property including the installation or alteration of walls, fences, or structures, paving, regarding, and the installation or removal of major plantings.



Sash Window



Setback

SHED ROOF: A single-pitched roof over a small room or porch; often attached to a main structure.

SHUTTERS: Window or door screens featuring horizontal slats that may be articulated, allowing control over air and light transmission. The styles include louvered and paneled. They were historically made of wood, although metal and vinyl nonfunctional shutters now exist.

SIDELIGHT: Narrow, vertical windows flanking a door.

SIDING: Material used for cladding or sheathing the external walls of a wood frame building.

SILL: The horizontal lower member of a window or other frame, including building frame.

SITE PLAN: An accurate scaled drawing of a site (lot) as if seen from above, describing the property boundary and orientation, the location of buildings, driveways, walks and other constructed site improvements, the retained vegetation and new plantings and finished grade contours.

SKYLIGHT: A window set into a roof or ceiling to provide extra lighting. Sizes, shapes and placement vary widely.

SOFFIT: The underside of any architectural element (as of an overhang or staircase).

STATEMENT OF SIGNIFICANCE: The importance of a property to the history of the state where it is located.

STEEPLE: A tall ornamental structure attached to a church meeting-house or other public building, generally consisting of a tower

STOOP: An uncovered platform and steps at an entrance.

STREETSCAPE: A setting or expanse consisting of the street, landscaping, and buildings along a street, as seen by the eye in one view.

STRETCHER: Refers to the long side of the brick.

STRUCTURE: One of the five resource types distinguished from a building, being a functional construction made usually for purposes other than creating shelter, including but not limited to, a gazebo, windmill, communication tower, bridge, canal, roadway, power plant, fence, or silo.



Shutters



Siding



STUCCO: A type of plaster used on exterior walls.

STUDS: A system of vertical supports intended to hold up walls or partitions.

SYMMETRICAL: A similarity of form or arrangement on either side of a dividing line.

TRANSOM: A small, usually rectangular window over a door or window. Some transoms open for ventilation, while some are only decorative.

TRIM: The framing or edging of openings and other features on the facade of a building or indoors. Trim is often a different color or material than the adjacent wall.

TYMPANUMS: The recessed triangular space between the horizontal and raking cornices or a pediment.

VERNACULAR: Architecture that generally is not designed by an architect and is characteristic of a particular area, showing local building trends stemming largely from building traditions, and often interpreting high style building design developments.

VIRGINIA LANDMARKS REGISTER (VLR): The official state of Virginia list of districts, sites, buildings and structures of historical, architectural or archaeological local, statewide, or national significance.

WEATHERBOARD: Overlapping horizontal boards that cover the wood-framed wall of a building, also called clapboard sheathing or cladding.

WORKMANSHIP: A quality of integrity applying to the physical evidence of the crafts of a particular culture, people or artisan.



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