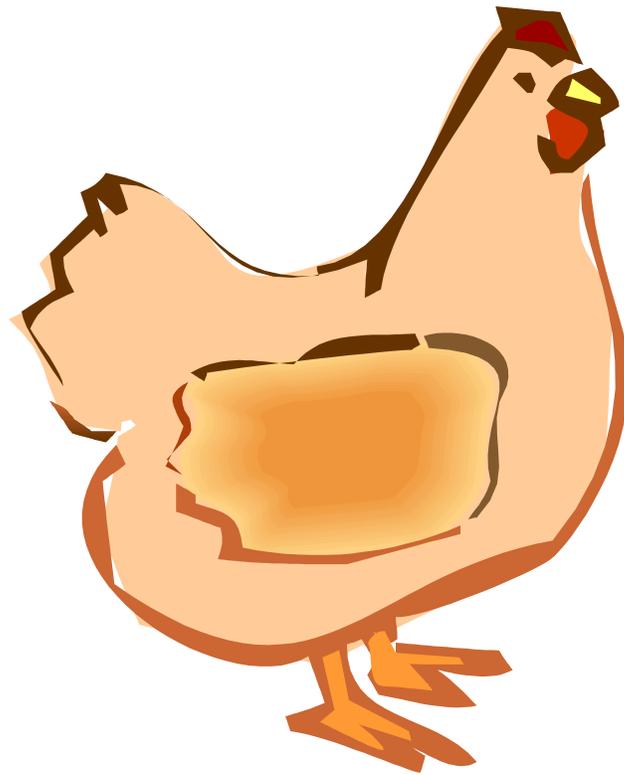


**The Citizen's Guide to Developing:
*New or Expanded Poultry Facilities***

Cumberland County, Virginia



**Prepared by the Cumberland
County Planning Department
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What is required to expand an existing or develop a new poultry facility in Cumberland County?

The County zoning ordinance requires a grower to submit a poultry development plan to the Planning Department. The Poultry Development Plan includes 4 parts: an application, a development plan, a nutrient management plan and an erosion and sediment control plan (if necessary).

- ✓ **Application** - shall indicate the number, size and location of poultry facilities planned for the subject parcel as well as other descriptive information about the project.
- ✓ **Development Plan** – This is a scaled drawing or map that reflects the proposed building on the property and provides distances to confirm the locations can meet the building setbacks standards required for poultry facilities. The plan also shall show any existing vegetation buffers or areas where buffers are needed.
- ✓ **Nutrient Management Plan** – This is a plan provided to a grower by the Virginia Department of Conservation and Recreation (DCR) and describes how poultry waste will be managed. Questions regarding a nutrient management plan should be directed to DCR by calling 804-225-3043.
- ✓ **Erosion & Sediment Control Plan** – This plan is required if the project will be grading, moving or otherwise disturbing 10,000 square feet of land area (100 ft. x 100 feet) . If the project will be disturbing 10,000 sq. ft. or more of land area state and local law require an engineered erosion and sediment control plan to be submitted and reviewed. The review fee is \$50.00 per building shown on the plan.

Where can poultry facilities be located in Cumberland County and how does the county define a “poultry facility?”

Any expansion to an existing facility or the development of a new facility must occur within the A-2, Agricultural zoning district.

Poultry facility means a poultry house and accessory uses or structures, including but not limited to facilities utilized for disposal of dead birds by a procedure approved by the state veterinary office of the state department of agriculture and consumer services, division of animal health, and dry waste disposal facilities.

What are the building setbacks for poultry facilities?

- ✓ Each poultry facility shall be set back from all existing dwellings not owned by the grower a distance of **300 feet**.
- ✓ The setback for poultry facilities from all property lines shall be at least **150 feet**.
- ✓ The setback for poultry facilities from the ditch line of public roadways shall be as follows:
 - At least **150 feet** from Route 60, Route 45 and Route 13.

- At least **100 feet** from all other public roadways.
- ✓ All poultry facilities shall be set back at least **1,000 feet** from:
 - the Farmville town boundaries,
 - residentially-zoned properties,
 - public schools,
 - county, town and community recreation areas,
 - public wells, springs and water intakes.

What are buffers and what are the requirements for buffers for poultry facilities?

One of the following buffers shall be required for all poultry facilities:

- (1) An existing natural buffer between the existing dwelling and the new poultry facility; or
- (2) A buffer consisting of three staggered rows of native evergreens between the existing dwelling and the poultry facility.

There are two important terms to know when determining the buffer requirements for poultry facilities:

Existing dwelling means either:

- (1) A structure designed for residential use, which is occupied on the date a completed application for a poultry facility permit is received by the office of the zoning administrator; or
- (2) A structure, designed for residential use, which is not occupied on the date a completed application is received, but which has been issued a certificate of occupancy or which has been occupied for any period of time within the five years immediately preceding the date on which a completed application for a poultry facility permit is received by the office of the zoning administrator.

Existing natural buffer means any hills or trees in any combination which completely blocks the view of a poultry facility from public roads and any existing dwellings located on properties adjoining a poultry facility.

What type of things does the nutrient management plan and an erosion control plan cover?

A nutrient management plan must first meet the requirements of the Va. Dept. of Conservation and Recreation. Generally, the plan will contain the following info (among other things):

- ✓ The nutrient management plan shall provide for the lawful disposal or use of 100 percent of the poultry waste produced by each poultry facility.
- ✓ The nutrient management plan shall also provide for a site, with or without a permanent structure, for the storage of poultry wastes.
- ✓ The nutrient management plan shall be revised every five years or more frequently if deemed necessary by the county. All revised nutrient management plans shall be reviewed and approved or disapproved by the Peter Francisco Soil and Water Conservation District.

An erosion and sediment control plan show how erosion from a development site will be contained and managed. The goal of an erosion plan is to keep soil and other sediments from washing off-site during storm events. A professional engineer or surveyor must prepare an erosion and sediment control plan.

What other things are important to know?

- ✓ At least one poultry facility must be placed into service within 24 months of approval of a poultry development plan unless at least one such poultry facility is already in service on the subject parcel. Zoning approval for any subsequent poultry facility indicated in the poultry development plan may only be obtained if no more than 5 years since a poultry development plan was approved for a parcel with at least one poultry facility already in service at the time of approval; or zoning approval was obtained for a poultry facility which has been placed into service under the approved poultry development plan for the subject parcel.
- ✓ Within 30 days of the placement into service of any poultry facility the grower shall notify the zoning administrator in writing.
- ✓ Failure to follow the above schedules shall result in the poultry development plan being revoked.

Where can I find more information or who can I call if I have questions?

The regulations covering poultry facilities can be found in Sections 74-991 through 998 of the County's Zoning ordinance. The responses to the above questions all came from the county's zoning standards.

If you have questions on any of the material in this guide, please contact the Cumberland Planning Department at 804-492-3520.